



Statement of Environmental Effects (SEE) Concept Development Application & Master Plan

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW 2720

**For: Ironstone Development Pty Ltd
and Kele Property Group**

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Talbingo Village and Surrounds



Aerial view (source: [Facebook.com](#))



Tumut River (source: [traveller.com.au](#))

Statement of Environmental Effects - Concept Development Application

LOT 35 - DP 878862. Miles Franklin Drive, Talbingo NSW 2720

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1.0 Introduction

1.1 This Statement of Environmental Effects (SEE) has been prepared on behalf of **Ironstone Developments PL and Kele Property Group** by **SIMPLAN** with supporting Master Plan, Amending Site-Specific DCP and Architectural data provided by **Harwood Architects** + supporting data and expert reports. The primary objective of the concept development application is to obtain “concept approval” for this Master Planned site including a conceptual subdivision proposal.

The proposal is for a master planned development proposal at Lot 35 DP878862 comprising mixed-use development which also incorporates a tourist facility (Spa Hotel), medium density mixed use precinct and detached dwelling residential area with extensive landscaping. A preliminary concept plan of subdivision is also proposed that aligns with proposed land uses. The Application is submitted under Division 4.4 of the Environmental Planning and Assessment Act 1979 (the Act). The Applicant, Ironstone Developments PL and Kele Property Group, formally requests that the application be treated as a Concept Development Application in accordance with Section 4.22(3) of the Act. This SEE and the **supporting data** provided with the Master Plan documentation and including a Draft amending Site-Specific Development Control Plan comprise the necessary data required under the Act to facilitate assessment of this (concept) development application – see also **Part 5.0** of this Statement for details of supporting data.

1.2 The Concept Development Application (CDA) outlines proposals for the redevelopment of the site, with future proposals aligning with the proposed concept to be subject to further detailed Development Applications. The development described in this Statement of Environmental Effects will provide residential, mixed use and tourist accommodation within a vibrant village atmosphere and will assist in addressing anticipated future need for accommodation and services in the region as visitation by tourists and demand for holiday homes progressively increases. The proposals will also support local businesses and jobs and assist in incrementally addressing an ongoing decline in population which has occurred in the region recent years - see supporting data (extract) from the “Master Plan Talbingo and Yarrangobilly Mountain Bike Trail Network” in **Part 2.0** below. The Proposals fully align with the land use objectives expressed in Council’s Local Strategic Planning Statement.

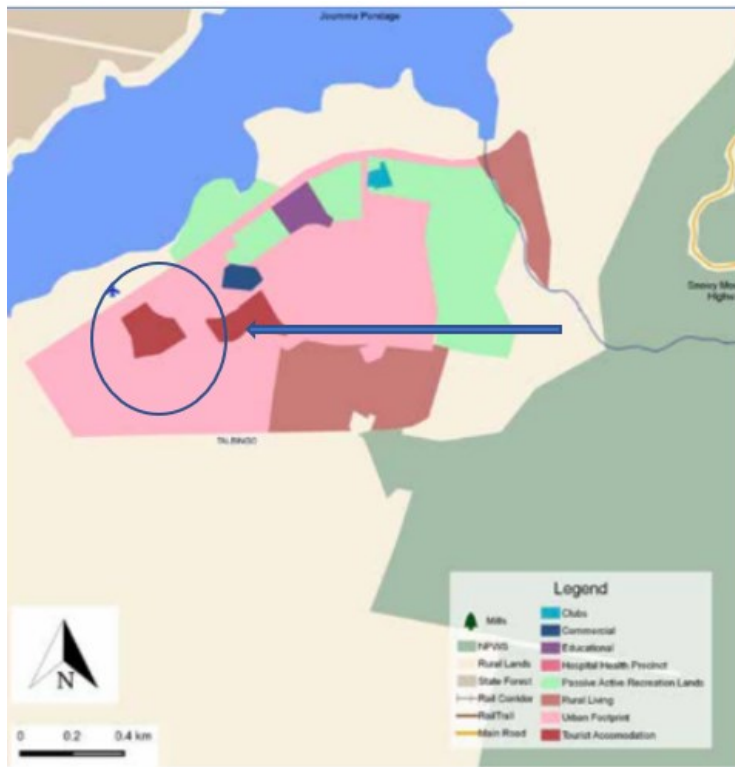


Figure 1. The site proposed for Commercial development (including a Spa Hotel) (circled) is identified for **Tourist Accommodation** in Council's LSPS and is proximate to the Airport. The remainder of the site is within the designated RU5 Zoned urban footprint.

Source: SVC Local Strategic Planning Statement: June 2020

1.3 Supporting documentation. - The supporting documentation referenced in this document and in the concept Masterplan DA are detailed in **Part 5.0**. Additional detail will be provided with future staged DA's seeking operational consents (noting that this (concept) DA does not seek approval to physically construct the proposals) .

1.4 The Estimated Cost of Works for subdivision and the development of lot infrastructure ready to build is \$35,000,0000 excluding GST. The Concept DA is therefore submitted for determination by the Southern Regional Planning Panel. CHECK

1.5. Integrated Development

- The concept development application requires Integrated Development Approvals for the following reasons:
- Part of the land is identified as being bushfire prone, and so approval is required from the Rural Fire Service under the Rural Fires Act:
 - The land contains natural drainage lines and approval **may** be necessary from the Department of Primary Industry under the Water Management Act 2000;
 - The land **may** contain items which are of archaeological or heritage significance if discovered during excavation (there is currently no evidence of items detected on the site) If so, future approvals would be required from NSW Office of Environment & Heritage (National Parks & Wildlife Act 1974) (Grant of Aboriginal Heritage Impact Permit).

Comment: Approvals/comments from relevant Public Agencies will be responded to expeditiously so that any necessary changes required to the Concept proposals are addressed “upfront” at the earliest stages of planning. Any public agency responses will be complied .

2.0 Background

2.1 Development Context - The Village of Talbingo

Talbingo lies about 40 kms south of Tumut, just off the Snowy Mountains Highway (See **Figure 2** below – Location Map). Talbingo has much to offer as a year-round holiday destination with the attraction of water and winter sports. Other sightseeing locations include the infrastructure of the Snowy Mountains Hydro Electric Scheme, the Tumut 3 Power Station and the nearby Kosciuszko National Park.



Talbingo Village

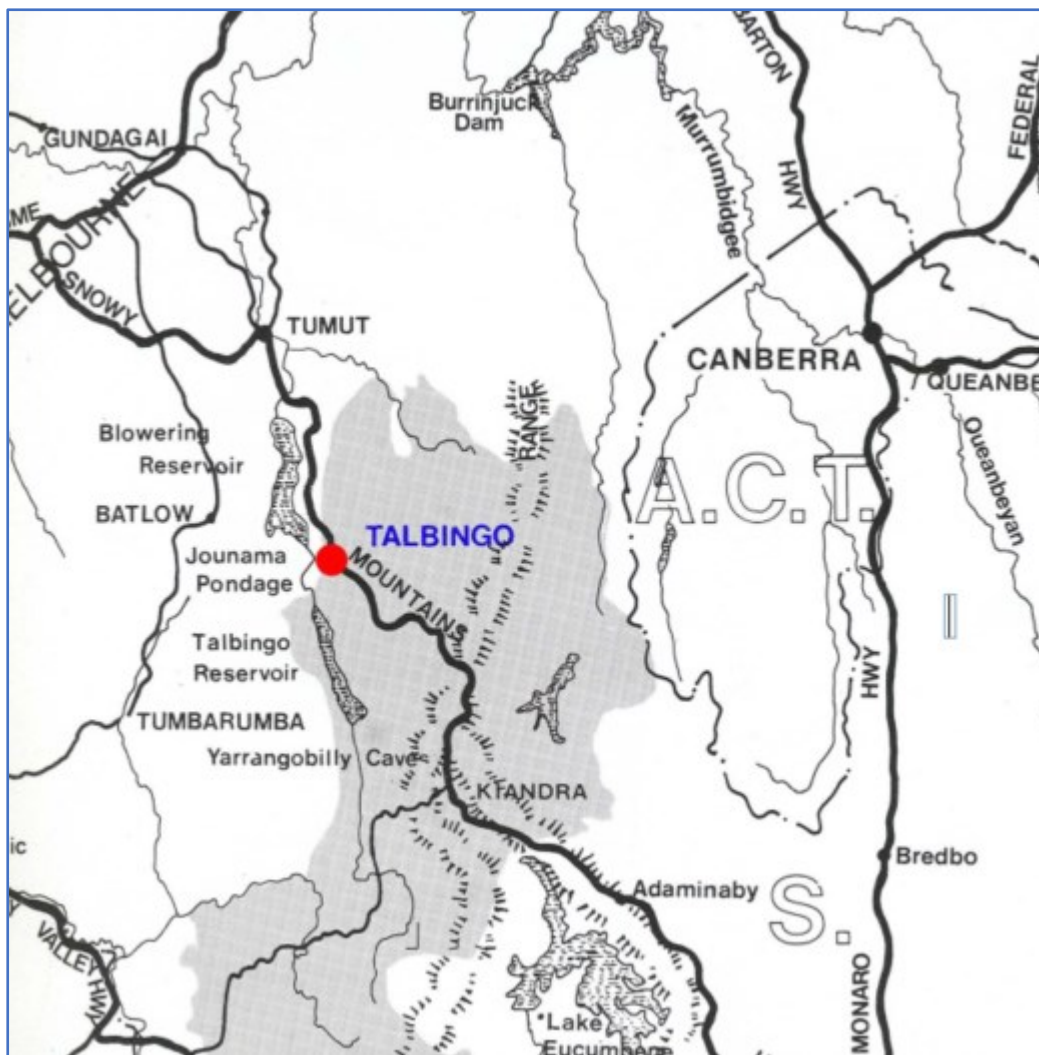
In addition to these more immediate attractions are the snowfields of the Snowy Mountains – the Mount Selwyn Ski Resort is only approximately 60 kms away, south along the Snowy Mountains Highway, which places Talbingo in an ideal location for a day trip to the snow.

Until the early 1990's it was a private village owned by the then Snowy Mountains Hydro Electric Authority, (now Snowy Hydro Ltd - SHL). In about 1994 the administration of the village was passed to Tumut Shire Council however, prior to that time, SHL was responsible for administering the village and this included responsibility for, and oversight of, the construction of dwellings and the provision of infrastructure. From about the mid to late 1970's, SHL began selling its properties in the village.

The town's "Welcome" sign indicates a population of about 400, however information from recent studies commissioned by Council indicates that only about half of that number is a permanent population (around 239 persons), with the remainder being tourists or people who own holiday homes in the village and reside there intermittently.

Aside from servicing the tourism industry, Talbingo provides few employment opportunities and the majority of the workforce finds employment either in Tumut about 25 minutes away, locally with SHL or the National Parks and Wildlife Service.

The existing village is comprised of around 280 dwellings, the majority of which are detached houses with the remainder being medium density (multi-dwelling) housing. There is also a small shopping centre, a service station, motel, country club, school and a variety of holiday accommodation. The land which is the subject of this SEE sits to the south- west of the existing village



INSERT

Figure 2. Location Map.

The following extract is from the recent - “*Master Plan Talbingo and Yarrangobilly Mountain Bike Trail Network*” (emphasis added)

Talbingo provides a variety of accommodation types, due to its long-standing position as a provider of water and winter sport tourism. Accommodation options include various camping grounds, a caravan park, mountain retreat, and cottages/ apartments. A significant proportion (70%) of the dwelling stock in Talbingo is used as holiday houses and temporary accommodation for visitors to the region.

The accommodation offering of Talbingo and surrounds will play an important role in attracting, supporting, and sustaining continued visitation to the region including visitation for mountain biking purposes. However, gaps exist in the Snowy Valleys in relation to 4-star self-contained apartments, eco-lodges, boutique hotels, and glamping opportunities (Destination Riverina Murray, 2019)

Projected visitor nights indicate potential demand for an additional 16,000 visitor nights for the region over the next 10 years (not including consideration of the Talbingo Trail Network development), which would require between an additional 20 (low growth) to 180 guest rooms (high growth) to service this demand (Urban Enterprise, 2019). Standard hotel/ motor inns are the largest accommodation choice for visitors across the region, comprising 45% of visitation, followed by caravan parks (31.0%), and Talbingo and Yarrangobilly Mountain Bike Trail Development

Whilst detailed development applications will need to be submitted for Council's consideration of this as a future stage of an overall development, it is clear that the location is appropriate for tourist facilities. Talbingo is acknowledged by Council and others as a significant tourist destination. Together with Adaminaby, it is within day trip distance of the snowfields. Mount Selwyn Ski Resort has a design capacity of 4-4500 people per day but it currently operates at around 2000 people only per day, with a major impediment being a shortfall in accommodation.

Response: The concept proposal when implemented will provide additional residential and tourist accommodation and incrementally address “gaps” in future accommodation provision. It will also provide local employment and assist the viability of existing services in Talbingo Village.

3.0 Concept Development Application (DA) & Approvals Pathway

3.1 The proposal is substantial in scale and will require a significant financial input to implement with costs spread over a number of years. Demand for the proposed commercial/residential components of the development may fluctuate depending on prevailing economic circumstances. The Concept DA/Masterplan process responds to the need to plan holistically and recognises the commercial reality that the implementation of the overall development will require a substantial, long-term financial commitment which extends to the necessary provision of new roads and essential infrastructure concurrently with subdivision. The lodgement of future DA's to progress completion of the project in totality is therefore a staged commitment. Despite the owner having a clear intent to future development of the site, it is essential that a level of confidence concerning the preferred (concept) development outcome sought is established to provide a reasonable degree of certainty.

Given these circumstances, the proposal is submitted as a Concept DA at this stage.

3.2 A Master Plan including a concept plan of subdivision has been prepared which demonstrates that Lot 35 is suitable for an iconic gateway tourist development (spa hotel), mixed-use precinct, terrace homes and dwelling houses. The spa hotel will provide facilities such as sauna, fitness facilities, yoga sessions, health-related educational classes, small scale conference rooms, holistic therapies and group specialty exercise events. In-room spa and healing treatments, massages and facial improvement options may also be offered by a number of specialists in the field on a personal basis. The hotel will allow guests to relax and rejuvenate within an exceptionally beautiful, pleasant mountain environment and with outstanding views. The hotel will be complemented by an adjacent mixed-use precinct that will provide a range of retail/business uses and upper floor residential apartments in a village atmosphere. The hotel/mixed-use precincts will also be surrounded by attractive terrace homes with a “sub-alpine” character and a low density detached dwelling residential precinct situated closer to Talbingo Village. Future development will be implemented in a manner which is environmentally sound and will be responsive to site planning opportunities and constraints. A primary objective is to enhance the unique landscape character of the Village of Talbingo. The Masterplan together with future detailed staged development applications will illustrate this approach.

4.0 Pre-lodgement Discussions with Snowy Valleys Council

A meeting was held on **Tuesday 4th May 2021** with SVC representatives and the Architect, Planner and representatives of Ironstone Developments and Kele Property Group. Council was supportive of the general concept proposed.

5.0 Supporting Documentation

The following data sets are provided/will be provided in support of this Concept Development Application to supplement the statutory assessment details provided in this Statement of Environmental Effects:

- Masterplan Concept (Includes ADG Assessment, Landscape Concept Plan, Public Domain Plan etc.
- Site-Specific Development Control Plan
- Statement of Environmental Effects
- Bushfire Hazard Assessment
- Preliminary Site Contamination Study
- Stormwater Management Concept Strategy + Flood Data
- Site Services
- Traffic Management
- Heritage and Archaeological Report
- Capital investment report
- Site Survey
- Views/Visual Impact Assessment
- Economic Impact assessment

6.0 Project Vision

6.1 The proposed development is for an iconic tourist (spa hotel) facility, mixed uses and multi-unit (terrace home) development together with detached dwellings comprising an overall Master Planned development. The “spa hotel and mixed use/residential precincts” comprise well-designed, environmentally responsible and sustainable buildings. The terrace homes will have a “sub-alpine” character with steeply sloping roofs enclosing living spaces.

Redevelopment of the site employing a Master Planned approach will realise the following objectives:

- Generate economic activity and population growth in Talbingo
- Create a sense of place by implementing a master planned approach for what is a key site.
- Establish an appropriate building height and density of development which protects the amenity of nearby land uses and complements the existing and future character of Talbingo.
- Provide high-quality development outcomes within walking distance of the Village Centre and local schools, shops and parks;
- Create a vibrant, village atmosphere with the spa hotel and retail uses offering a mix of retail, dining, activities, and car parking all in one convenient location.
- Provide employment and a range of dwelling types in an accessible location.

7.0 Site Description and Surrounding Locality

7.1 Site Description

Lot 35 has a total area of 15.25 hectares . The site is an irregular parcel of land with moderately undulating terrain with ground levels falling towards Miles Franklin Drive and the Airport. There are panoramic 180-degree views from the site towards the Journama Pondage.

The previous use of the greater part of Lot 35 was for temporary accommodation and workshops in conjunction with establishment of the Snowy Mountains Scheme. Although these buildings have since been removed, remnants of former access roads and building foundations/platforms can still be found.

The subject lot is cleared with existing predominantly grassed vegetation and scattered remnant native trees persisting in the vicinity of established overland flow paths (see aerial photograph and indicative site planning layout images below for further clarification).



Figure 3

Aerial
Photograph
Source: Google

The Site (Lot
35)

7.2 Existing Land Use Context

The subject land is currently vacant and used for light cattle grazing. To the north-east is Talbingo Village where existing residential development comprises primarily detached homes. A range of holiday accommodation options (caravan park, self-contained units and lodges) is available. To the north- west is Talbingo Airstrip + Jounama Pondage and further to the north-east Talbingo Shopping Centre. Open grazing land lies to the east and south-east (See Aerial photograph above).

Talbingo Village has a small shopping centre (general store, post office, café and bottle shop), service station, motel, country club and school.

Adjoining the site to the north west (opposite side of Spicer Street) is the Talbingo Mountain Retreat (holiday accommodation). Opposite the site to the south-east is a large area of Public Open Space accessing the Tumut River foreshore.

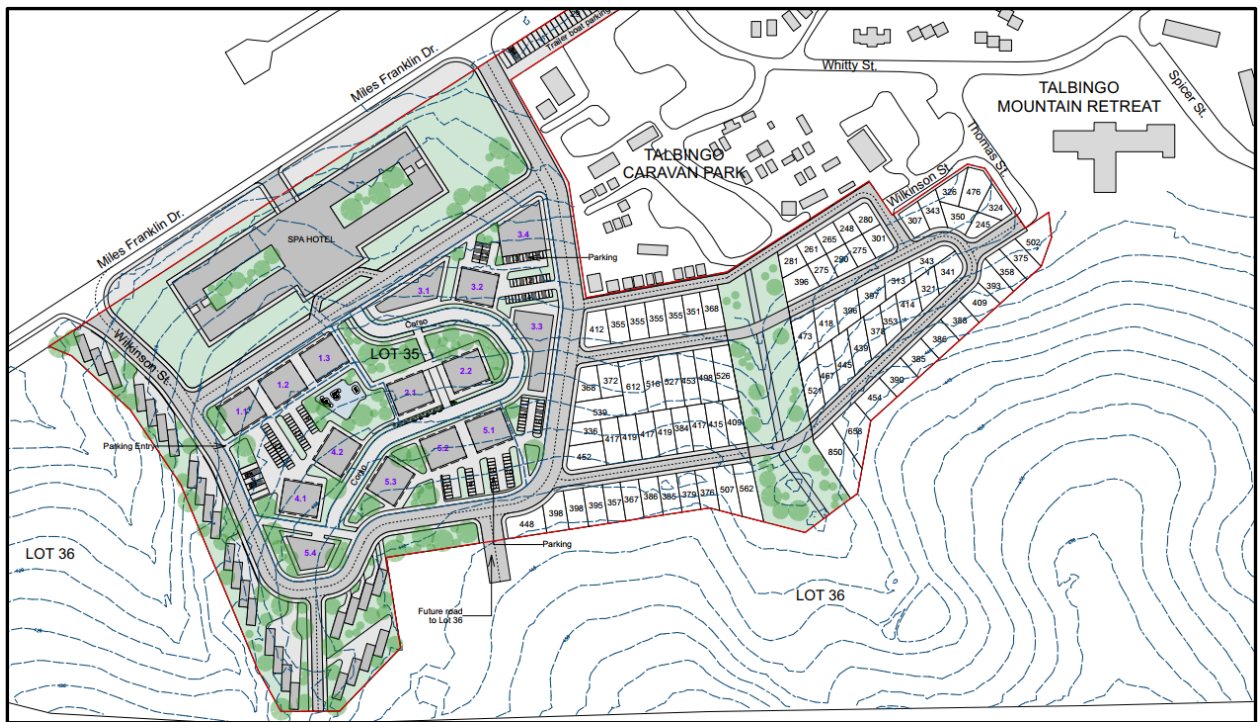
The Village shopping centre is approximately 350 metres distant from the site and can easily be accessed via Whitty Street (4-minute walking distance).

8.0 Concept Masterplan + Landscape Concept

8.1 This concept master planned proposal has been carefully designed to optimise site opportunities within these sensitive rural surroundings. Conserving the amenity of existing development on the surrounding land has been carefully considered as part of the site planning process.

The Master Plan (site master plan shown below) conceptually illustrates the manner in which it is envisaged that the western part of the Village will be developed. The concept design uses a Master Planning Precinct Methodology to:

- Establish a logical land use pattern across various parts of the site based on site analysis, built form and proposed land use.



This offers soft landscaping and allows enhanced water retention and recycling, stormwater management and increased site biodiversity. It also establishes an open space and landscape character which preserves existing features and focuses primarily on providing open space on private land so as to minimise costs to the community;

- Respond appropriately to the surrounding land use context by providing substantial building setbacks which are further “buffered” physically from adjoining development and open grazing lands by proposed local roads.
- Provide a “template” for the extension of utility services which exist on adjoining land.
- Provide high levels of permeability within and external to the site. For example, the concept proposals:
 - (a) provide public and private open spaces situated adjacent to and between buildings (each larger area of open space will be designed with a specific function and hierarchy; and,
 - (b) establish built forms configured/located around an ordered structure of local roads and pedestrian paths to create through-site movement linkages, thereby encouraging both north-east and south west movements
 - (c) create a logical network for vehicular and pedestrian access within the subdivision, and to/from the existing Village;

The proposal is consistent with Council's current Planning Policies, the Tumut LEP and Snowy Valleys DCP 2019 . It also meets the objectives of the “Master Plan Talbingo and Yarrangobilly Mountain Bike Trail Network” as referred to in Parts 1 & 2 of this document.

Note: A “Residential Estate Masterplan” for Lot 35 and adjacent Lot 36 was previously lodged with Council (Kele Property Group NSW and Urban Link/Prescott Architects) in 2006. This referenced the “Talbingo Planning Study” originally carried out in 1979. It is understood that this “Estate Masterplan” was approved by Council and that the currently endorsed Urban Structure Plan for Talbingo, including the establishment of the RU5 Rural Village Zone, are outcomes that were informed by the Planning Study and subsequent Masterplan recommendations. The current Concept Masterplan proposal aligns with broadly with the findings of these previous studies and concurrently acknowledges recently updated planning controls adopted by Council.

8.2 Key features of the Concept Development Proposals

New buildings and accommodating a mix of land use activities, including:

- Proposed spa hotel development offering a range of health-related improvement options and associated and visitor accommodation. (see Parts 1-2 of this Statement)
- Mixed Use retail and residential precinct adjacent to Hotel – approx. 14000m2 GFA
- Terrace homes development (residential only)
- Detached Dwellings (residential only) – approx. 31,500m2 GFA
- Public Open Space – approx. 50,000m2. (various parcels) Private/Public
- Car parking and service areas for Boat Trailers. Larger parking spaces located adjacent to proposed tourist accommodation facility and residential properties. Proposed parking numbers provide sufficient capacity to accommodate all existing and future land use activities as specified in Council's DCP.

- New access roads and pedestrian paths proposed. Primary pedestrian and vehicular access to the proposed tourist facility and residential areas will be via local access roads connecting with Miles Franklin Drive.
- Private open space provided for residents and visitors to the Hotel Tourist Facility and Mixed Use.
- Publicly accessible open space including a through-site pedestrian connections complemented by landscaping and outdoor furniture. Together with local road connections and internal footpaths this will activate the public domain and improve safety, creating surveillance of public areas.

Note: The Concept Proposal does not seek to establish a specific floor space ratio or building height, rather, it indicates general massing of buildings and their disposition within the site together with an indicative subdivision layout as the primary focus. More detailed built-form design information will be included in future detailed development applications following Concept DA approval.

9.0 Concept Subdivision Plan

A concept subdivision plan is provided as part of the Masterplan documentation. The proposal shows lot configurations for lots proposed to be developed for a Spa Hotel, mixed use development and for multi-unit dwelling/detached homes. The Concept Subdivision Plan demonstrates that the minimum residential lot size/frontage planning provisions specified in Council's LEP and in SVCDP 2019 applicable to residential subdivisions can be complied with.

The overall concept subdivision layout is to be considered in conjunction with associated proposals for Public Open Space, Traffic and Pedestrian Access and built form. Permanent vehicular and pedestrian access to all developed areas across Lot 35 will be provided by means of roads to be constructed and dedicated to Council..

Note: Subdivision is considered the most logical initial development stage envisaged to be addressed "upfront" in a future more detailed development application given that it is associated with augmentation of existing utility capacities and provision of necessary road/pedestrian access.

10.0 Statutory Planning Assessment

An assessment of the proposal has been made against the relevant statutory controls and environmental planning instruments (EPIs) applicable to the site. These include:

- State Environmental Planning Policy 65 – Design Quality of Residential Flat Buildings (SEPP 65) and Apartment Design Guide (ADG).
- State Environmental Planning Policy No 55 – Remediation of Land (SEPP 55).
- State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004.
- Tumut Local Environmental Plan 2012 (TLEP 2012).
- Snowy Valleys Council Development Control Plan 2019 (SVDCP 2019).

(a) State Environmental Planning Policy 65 – Design Quality of Residential Flat Buildings & Apartment Design Guide

Specifies Design principles and requirements for apartments including apartments in mixed use developments.

Response: The proposed concept development includes buildings which are shop top housing and multi dwelling housing comprising terrace homes. SEPP 65 and the NSW Apartment Design Guide (ADG) are applicable. A preliminary assessment of the proposed (shop-top) apartment layouts against relevant SEPP 65 Design Quality Principles and design criteria as specified in the Apartment Design Guide (ADG) in the SEPP is provided. The assessment (prepared by Robert Harwood - registered architect) demonstrates that these components of the proposal meet the design principles/criteria contained in

SEPP65 and the NSW Apartment Design Guide. It is recognised however, to note that any concept approval does not authorise any physical works. A more detailed ADG compliance assessment can be made as part of consideration of the future detailed DA's when lodged.

(b) State Environmental Planning Policy No 55 – Remediation of Land (SEPP 55)

State Environmental Planning Policy No 55 – Remediation of Land (SEPP 55) aims to promote the remediation of contaminated land for the purpose of reducing the risks of harm to human health or any other aspect of the environment by identifying what remediation work requires consent, and requiring that remediation work meets certain standards for the proposed use. Clause 7 of SEPP 55 specifies that a consent authority must not consent to the carrying out of any development on land unless it has considered whether land is contaminated and, if the land is contaminated, that it is satisfied that the land is or can be made suitable for the proposed development.

Response: The proposal is a concept development application and does not seek approval for construction, buildings, subdivision or related infrastructure. The site is not listed as “contaminated” land on Council’s data base or in NSW EPA Contaminated Lands Records. Given the historic use of the land for grazing and temporary housing only, there are no concerns relating to potential site contamination. However, a preliminary site contamination report has been prepared which confirms that no contamination exists on this site necessitating remediation. More detailed site investigation/remediation investigations will be undertaken as part of the development assessment process associated with future staged development applications.

(c) State Environmental Planning Policy (Building Sustainability Index: Basix) 2004

State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004 aims to ensure that new residential development within New South Wales (including apartments provided within mixed use developments) is designed and constructed to minimise water and energy usage. These requirements will be complied with and validated via BASIX assessment reports submitted with future DA's.

(d) Tumut Local Environmental Plan 2012 (TLEP 2012)

Overview:

TLEP 2012 is the relevant local environmental planning instrument and prescribes land use zoning and applicable development standards for this site. Lot 35, DP878862 is within in Zone RU5 (Village Zone). The RU5 zone is a highly flexible land use zone aimed at promoting a wide range of appropriate development outcomes and land uses. The future development and subdivision of this land as currently proposed specifically aligns with the specific objectives of the Tumut LEP applicable to the RU5 Zone. The proposed (concept) master planned development and concept subdivision plan are permissible with consent of Council. The proposal also broadly aligns with Council's current Development Control Plan.

(i) The broad aims of the TLEP 2012 are as follows (**emphasis** added):

(aa) to protect and promote the use and development of land for arts and cultural activity, including music and other performance arts,

(a) to protect the agricultural production of rural land, particularly where land is designated as being of prime crop and pasture potential,

(b) to provide for the continued needs of tourism,

(c) to encourage the provision of employment opportunities for local residents,

(d) to provide a variety of residential environments to cater for differing lifestyles and needs,

(e) to promote and enhance the viability of existing commercial and industrial centres within Tumut,

- (f) *to recognise the financial constraints likely to be encountered by the Council in the provision, maintenance and augmentation of additional and existing services required for an expanding and relocating population,*
- (g) *to ensure that the Council gives due regard to the effect of natural hazards upon development,*
- (h) *to protect environmentally sensitive land and important fauna and flora habitat,*
- (i) *to protect, conserve and enhance Tumut's rich indigenous and non-indigenous cultural heritage*

Response: The proposal satisfies the relevant Aims of TLEP 2012. It will enhance tourism, increase the range of services and create long and short-term employment which will assist the long-term viability of businesses in Talbingo Village. It will also facilitate infrastructure provision at no cost to Council. Cultural heritage and fauna/flora are not adversely affected by these proposals.

Key matters for compliance considerations under the TLEP 2012 are addressed in the following sections and include:

- Land use zoning objectives and permissibility (Clause 2.3)
- Heritage Conservation (Clause 5.10)
- Subdivision – consent requirements (Clause 2.6)

(ii) Zone objectives and Land Use Table (Clause 2.3)

The site is zoned **RU5 Village** (see TLEP Zoning Map Extract at Figure 5 below).

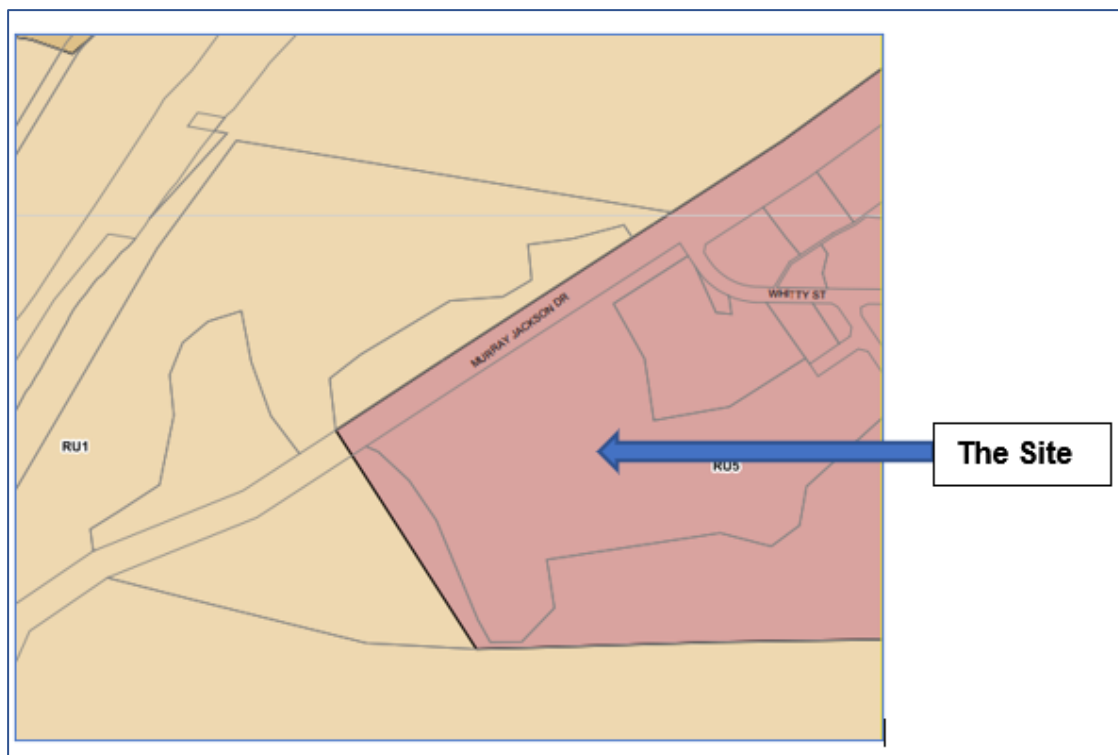


Figure 5 - Land Use Zoning under TLEP 2012. (RU5 Village zone applies)

Land Use Table - **RU5 Village** - Objectives of Zone:

The primary TLEP 2012 objective for the RU5 Village zone (primary objective) is as follows:

- *To provide for a range of land uses, services and facilities that are associated with a rural village*

Response:

The proposed concept development proposal satisfies the RU5 Village zone objectives because it:

- a) augments the range of residential and business uses which are compatible with, and which will complement existing Talbingo Village land uses.
- b) is centrally located close to the centre of Talbingo Village, providing future residents and visitors with excellent access to local facilities and services.
- c) assists in providing future permanent employment opportunities consistent with uses permitted within the RU5 Zone

(iii) RU5 Zone – Land Use Table

Permitted land uses within the **RU5 Village Zone** are as follows (emphasis added where directly or indirectly relevant to the proposed development):

Centre-based childcare facilities; Community facilities; Dwelling houses; Neighbourhood shops; Oyster aquaculture; Places of public worship; Recreation areas; Recreation facilities (indoor); Recreation facilities (outdoor); Respite day care centres; Roads; Schools; Tank-based aquaculture; Any other development not specified in item 2 or 4.

Response: The proposed residential and business uses, including subdivision of land are all permitted by default (with consent) within the RU5 Village zone.

(iv) Subdivision- consent requirements (Clause 2.6) – This Clause States as follows:

(1) Land to which this Plan applies may be subdivided, but only with development consent.

Response: Development consent will be sought for subdivision.

(v) Principal Development Standards

(a) Minimum Subdivision Lot Size (Clause 4.1)

The TLEP 2012 (Mapped) minimum lot size for residential sites within the RU5 Zone is **225m²**.

Response: All proposed allotment sizes for detached dwellings comfortably exceed the required minimum lot size area specified.

(vi) Heritage Conservation (Clause 5.10)

The nearest listed/mapped items are two (2) locally listed items (Item Nos. 144 and 145 in TLEP 2012) in Lampe Street :

<i>Orana Lodge</i>	<i>45 Lampe Street</i>	<i>Lot 1, DP 238761</i>
<i>Talbingo Shopping Centre</i>	<i>49 Lampe Street</i>	<i>Lots 9–21, DP 238761</i>

Response: All proposed structures are some distance from these listed properties and are visually and physically separated from them by Talbingo Caravan park and roads. The proposals will not detract from the heritage significance of these local items. The proposal will have no impact on views to these heritage items from the public domain. However, it has been recognised that the land has some historic

significance and a European and Indigenous Heritage Assessment has therefore been undertaken to provide information and recommendations to ensure that any items are identified and treated appropriately.

(vii) Part 6 - Additional Local Provisions.

Part 6 of TLEP2012 requires that consideration must be provided to the following:

(a) Cl.6.1 Earthworks

Clause requires consent for earthworks unless in association with an approved development.

Response: Any earthworks will be ancillary to proposed future development. Prior operational Development Consent will be necessary for these works. Excavation will be limited to what is necessary to construct the development including basement car parking and adjustment of levels to allow for accessibility. A Construction Certificate will detail proposed excavation methodologies, supporting structures and compliance with the National Construction Code when at that stage. Refer also to the attached Geotechnical Report.

(b) Cl.6.2 Flood planning

Clause requires consideration of flooding issues within Flood Planning Areas.

Response: Relevant TLEP 2012 Maps indicate that the land is not identified on Council's Flood Planning Map. However, the land has natural drainage lines and a preliminary flood study was undertaken to demonstrate that the proposed lots will not be affected by flooding. The design of the low-density residential component considers the natural watercourse that runs through to the Caravan Park to be accommodated in further design development stages.

(c) Cl. 6.11 Essential Services

Requires that essential services be provided in conjunction with developments.

Response: The proposal is "concept" only at this stage to establish whether the proposal can be progressed further. Future more precise development applications will include details of proposed infrastructure. Provision of essential utilities, including new roads etc. can be a condition of development consent and required to be detailed on approved construction certificates. A "Site Services" report will identify that necessary utilities can be provide to service the development.

11.0 Snowy Valleys Council Development Control Plan 2019 (SVDCP 2019)

11.1 A summary of the proposal's consistency with relevant parts of SVDCP 2019 applicable to commercial development and multi- dwelling housing is provided in **Table 1** below. The assessment demonstrates that the proposal is generally consistent with relevant controls and those specified in the Site-Specific Development Control Plan.

A Site-Specific Development Control Plan (SSDCP) (Amendment to SVC DCP 2019) is submitted with the Concept Development Application/Masterplan. Unless otherwise varied as detailed the amending SSDCP, development should be designed and constructed generally in accordance with the provisions of the Snowy Valleys DCP 2019 (as amended). In the event of any inconsistency between this Section and the relevant provisions of Snowy Valleys DCP 2019, the development and land use controls specified in the SSDCP prevail to the extent of any inconsistency.

Table 1: SVDCP 2019 Assessment:

Requirements Applying to all Types of Development (refer also to site Specific Development Control Plan for additional/complementary controls)

Topic	DCP Control(s)	Comment	Complies ?
1.1 DCP Objectives	Part 1.2 Lists general design and planning principles which will help achieve a high standard of development	The concept proposal responds positively to each of these principles.	√
1.4 Strategic Links	Important Themes which have guided content of SVDCP 2019	"Growth through innovation" (Theme 2) is particularly relevant and is adequately addressed in this proposal. The land use objectives detailed in the Tumut LEP + Council's adopted LSPS (2020) are fully aligned with.	√
3.2.1 Vehicle Access Standards	Vehicle access to all development is to be designed to be safe. Adequate sight distance, in each direction, is to be provided for any internal site/property access road. Internal access roads will join any public road at 90 degrees (where practical or within plus or minus 15 degrees) and entrances are to be located so vehicles do not queue onto the public road. The type of access for a particular development will be determined by Council and will take into consideration factors such as fall, drainage, traffic vision and specific site conditions. Note: Approval for access on Council public roads requires approval under the Roads Act 1993.	A Traffic and Parking Study is to be included with the Concept Masterplan. This indicates compliance can be achieved for the land uses proposed.	√ √ Meets the standards or objectives of the relevant controls
3.2.2 Bushfire	Comply with the relevant NSW Rural Fire Service Planning for Bushfire Protection Guidelines.	Refer to Bushfire Assessment Report recommendations which will be complied with.	√
3.2.3 Car Parking	Specifies Car Parking requirements and layouts required	Refer to Traffic and Car Parking report which indicates compliance can be achieved for all uses proposed as part of future DA processes.	√
3.2.4 Construction Over Council Land and Services	Requires approval for any constructions on Council property	This will be complied with.	√

3.2.6 Cut and Fill	Requires site plan detailing proposals	This requirement will be complied with. Refer also to SSDCP amendment.	√
3.2.7 Demolition	Specifies requirements for proposals that initiate these types of activities	All of these requirements can be complied with. Refer also to SSDCP amendment to SVCDP 2019. Further detailed drawings demonstrating compliance will be provided with staged DA's.	√
3.2.8 Development near Electrical Easements	Specifies requirements for proposals that initiate these types of requirements		√
3.2.9 Erosion and Sediment Control			
3.2.10 Flooding	Specifies requirements for development on land liable to flooding	The land is not flood prone. However, a preliminary report has been prepared for Council's information.	√
3.2.11	Specifies requirements for development impacting on heritage areas or items.	No heritage items are affected – Refer to comments in SEE and SSDCP	√
3.2.12 Landscaping	Specifies requirements for Landscape design	Complies - Refer to Landscape Concept Plan	√
3.2.13 On-site Wastewater Management	Specifies requirements for on-site wastewater disposal	Development can be connected to reticulated sewerage system for wastewater disposal. Refer to Services Report.	√
3.2.14.1 Sewerage	Specifies requirements for sewage disposal	Development will be connected to a reticulated sewerage system. Refer to Services Report.	√
3.2.14.2 Water supply	Specifies requirements for Water supply	Development will be connected to the reticulated town water supply. Refer to Services Report.	√
3.2.14.3 Electricity	Requires electricity supply for developments	Existing grid can be extended given location of property. Refer to Services Report.	√
3.2.14.4 Telecommunications	Development must be provided with access to the telecommunications network	This requirement can be achieved given location of property within village zone. Refer to Services Report.	√
3.2.15 Retaining Walls	Specifies requirements for larger retaining walls	This requirement will be achieved and will be further demonstrated in future staged DA's. Refer to SSDCP amendment.	√
3.2.17 Stormwater/roof Water Management	Specifies requirements for stormwater disposal	Stormwater, roof water and rainwater tank overflow can be collected and disposed of (under gravity) directly to a road or street. Refer to Stormwater Management report and SSDCP amendment.	√
4.3 BASIX	Flags "BASIX" requirements	BASIX reports will be included in future staged DA's.	√
4.5 Dwelling Houses in Residential and Village Zones	Provides a range of site development controls relating	All requirements in SVCDP2019 will be complied with. Allotment sizes for dwellings and frontages exceed Council's minimum requirements.	√

	to dwelling houses in the RU5 Village Zone	Refer to Masterplan for indicative subdivision layouts and floor plans.	√
4.5.1 – 4.10.6 Various controls relating to Building Design and function- Dwelling Houses in Residential and Village Zones	Specifies requirements for residential (single dwelling and dual occupancy) designs including services etc	These requirements can be met. Refer to Masterplan for indicative subdivision layouts and floor plans Further (complying) details will be provided in future detailed development applications for Council compliance assessment. Note: Dual Occupancy development is not proposed.	√ Meets the standards or objectives of the relevant controls
4.10.8 Subdivision	Specifies minimum (Torrens) lot size requirements for detached dwellings	Lot Sizes for detached dwellings comply with TLEP 2012 and SVCDP2019 requirements	√
4.11.1 –4.11.20 Multi-Dwelling Housing 4.11.1 –4.11.20 Multi-Dwelling Housing	Specifies a number of development requirements for “multi-dwelling” housing	Concept DA and Masterplan proposes “multi - dwelling housing” (terrace homes) on part of the site. Refer to Masterplan for details including 3D rendered images. The multi - dwelling housing component of the development will comply with the NSW ADG and applicable Council development controls (as proposed to be amended by the SSDCP). Developments can be further assessed for compliance with SVC DCP2019 and the SSDCP as part of the detailed development assessment process for staged DA's following Concept Masterplan/Concept DA Approvals.	√ Meets the standards or objectives of the relevant controls. Refer to SSDCP.
5.1- 5.3.15 Commercial development (permitted with consent in the RU5 Village Zone).	Various development standards applicable to this type of development including building height/setbacks .	The spa hotel/mixed use development layout plans proposed demonstrate that these requirements can be complied with. This will be further demonstrated in future detailed development applications. Refer also to SSDCP Accessible car parking will be provided and external car parking areas will be landscaped. Basement/semi basement parking primarily screened from external viewpoints will be provided and designed to comply with SVCDP requirements	√ Meets the standards or objectives of the relevant controls. Refer to SSDCP.

5.3.16 Shop Top Housing	<p>Various development standards specified in relation to shop top housing.</p> <p>These include:</p> <ul style="list-style-type: none"> • Building Design • FSR (Maximum 2:1) • Setbacks • Solar access and Privacy Private Open Space 	<p>Mixed use development is proposed to create a . “village” atmosphere offering a mix of retail, dining, activities, and car parking all in one convenient location.</p> <p>Refer to concept Masterplan documentation for details of specific proposals relating to Shop Top Housing (layout and development standards) which demonstrate compliance with SVCDP 2019 and SSDCP. controls.</p> <p>Noting proposed lot sizes and the relatively low scale of buildings proposed within the mixed-use precinct, Council's specified DCP controls relating to FSR and solar access can be met. See also SSDCP. Controls and conceptual ADG assessment.</p> <p>More detailed building design solutions for the mixed-use precinct will be lodged with future Development applications.</p> <p>Note: A “new” streetscape character is to be created some distance from established development in Talbingo. A consistent built form character and appropriate building setbacks are proposed.</p>	<p>√</p> <p>Meets the standards or objectives of the relevant controls. Refer to SSDCP.</p>
5.3.16 Shop Top Housing (cont.)			
5.3.18 Stormwater Management	Various development standards applicable to this type of development.	Refer to Stormwater Management Concept Plan.	<p>√</p> <p>Meets the standards or objectives of the relevant controls</p>
5.3.19 Waste Management	Various development standards applicable to this type of development.	Refer to specific controls in SSDCP amendment. Detailed compliance with these requirements will be demonstrated in future staged DA's.	<p>√</p> <p>Meets the standards or objectives of the relevant controls</p>
7.0 Heritage	N/A	No heritage items are impacted by the proposals (see comment in SEE document)	√

8.0 Locality based controls (Talbingo)	Talbingo Preferred Land Use Policy.	The proposal is permitted with consent in the RU5 Village Zone. The location of the Spa Hotel aligns with Council's preferred land use policy (refer to current LSPS proposals) which identify the site within an "urban footprint" suitable for development permitted within the RU5 Zone including tourist related" development.	√ Meets the standards or objectives of the relevant controls
	<p>Building Design maximum Building height above NGL 7.2 metres (control applies to all of Talbingo)</p> <p>Building Design maximum Building height above NGL 7.2 metres (control applies to all of Talbingo)</p>	<p>Detached dwelling heights will not exceed 8.5 metres.</p> <p>The hotel, mixed-use and terrace home components of the development are designed to comply with the objectives and controls specified in SVCDCP 2019 and as amended by SSDCP amendment controls noting the following:</p> <ul style="list-style-type: none"> A "generic" 7.2 metre height limit for "all structures" is problematic as it diametrically conflicts with other carefully specified building height controls in SVCDCP 2019 relating to specific land uses. <p>Refer to explanatory information in Part 2.2 of SSDCP amendment (if a 7.2 metre height limit is strictly applied mist new development overall would not be practical/viable and could not proceed).</p> <ul style="list-style-type: none"> The tourist hotel building, mixed-use shop-top precinct and terrace home components are positioned at the lower parts of the site against a backdrop of progressively higher land. This means that the (taller) hotel, mixed-use buildings and terrace homes will not significantly project above the skyline and present a low, unobtrusive building profile viewed from the public and private domain. 	<p>√</p> <p>Meets the standards or objectives of the relevant controls</p>

<p>8.0 Locality based controls (Talbingo) cont.</p>	<p>Building Design - maximum permitted Building height above NGL 7.2 metres</p>	<ul style="list-style-type: none"> • The location design, and scale of these buildings is specifically intended to conserve the landscape quality of Talbingo. Refer to 3D imaging in Masterplan. • Adequate solar access can be maintained to adjoining lands in the vicinity; • The Spa Hotel building and adjacent mixed-use (shop top) buildings together with adjacent terrace homes will “step” appropriately in sympathy with the topography of the site. Ground floor car parking will be fully/partly excavated and will be unobtrusive. Refer to 3D Masterplan imaging. • The proposed developments overall will have minimal environmental impact and do not represent an overdevelopment of the site. No adverse amenity impacts are anticipated. • The spa hotel building will “buffer” shop top housing and other (residential) properties both visually and acoustically from Miles Franklin highway and create an “iconic” built form element marking the “Gateway” to Talbingo. Refer to specific controls for the hotel in SSDCP which limit building height and prescribe minimum building setbacks. • The proposed terrace home building heights (maximum 11.5 metres) are acceptable. They are architecturally designed and incorporate a “room in the roof” approach including a steeply sloping pitched roof to achieve a distinct “sub-alpine” character. The terrace homes are relatively modest in scale and lower than originally proposed RFB’s. • The terrace homes “step” to align with the site’s topography and as a consequence are relatively low in scale. 	<p>√</p> <p>Meets the standards or objectives of the relevant controls</p>
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<p>8.0 Locality based controls (Talbingo) cont.</p>	<p>Building Design - Maximum permitted Building height above NGL 7.2 metres (DCP control)</p>	<ul style="list-style-type: none"> • The terrace home component will have minimal environmental impact (it is contained or “nestled” within a specific area and is physically separated from the proposed detached dwelling precinct). These homes will have a low, unobtrusive building profile viewed from the public and private domain. • The mixed use/shop top housing will not exceed 3 levels as specified in SVCDP 2019 • Adequate solar access will be maintained to proposed adjoining detached dwellings terrace homes and shop-top apartments . • The provisions of the NSW Apartment Design Guide applicable to apartments in mixed use developments and to multi-unit dwellings (terrace homes) will be complied with.- Refer to ADG assessment. • The development as a whole will not adversely impact existing dwellings within the Talbingo Village (which are some distance from this site) in terms of overshadowing or scale, nor will the proposed buildings create unacceptable built form outcomes which diminish the “low scale” character and ambience of the existing village. • Assuming Council wishes to increase housing choice and augment tourist accommodation as currently stated in supporting Strategic Planning documents, a degree of terrace home development (in lieu of residential flat buildings) and apartments provided as part of modestly scaled shop top housing together with carefully designed spa hotel accommodation is desirable. 	<p>Meets the standards or objectives of the relevant controls</p>
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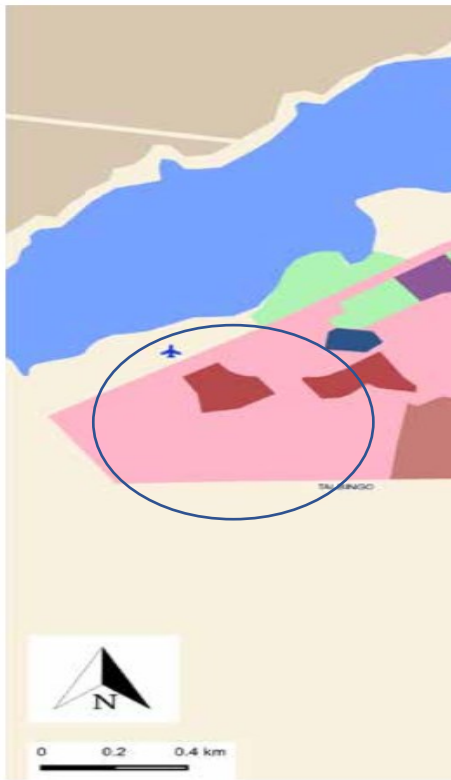
8.0 Locality based controls (Talbingo) cont.	----- Building Materials	----- Building materials , colours and finishes have been outlined in the Design Guidelines of the Concept Masterplan for each class of building. Finishes will have a “sub-alpine” theme sympathetic to local character.	√ Meets the standards or objectives of the relevant controls
	Advertising signage requirements	Any signs to be placed on the hotel structure will be fully detailed for Council's consideration in a future Development application.	
	Landscaping	Refer to Concept Masterplan and Landscaping plan. A “sympathetic landscape profile” relevant to existing Talbingo landscapes and local flora will be established. The landscape appearance of this disturbed site will be markedly improved following revegetation.	
	Archaeological/heritage significance to be considered	Refer to expert report.	
9.0 Subdivision	<p>Specifies following requirements for subdivision design:</p> <ul style="list-style-type: none"> • Road layout • Lot sizes • Open space landscaping/Street Trees 	<p>Refer to Concept Masterplan - The objectives of these controls are achieved</p> <p>Refer to Traffic and Parking Report</p> <p>Detached dwelling lots are compliant with Tumut LEP requirements</p> <p>Extensive landscaping and open space will be provided. See Concept Landscape plan.</p>	√ Meets the standards or objectives of the relevant controls

	<ul style="list-style-type: none"> Services 	All necessary services/utilities can be provided. Refer to "Services" report.	<p>√</p> <p>Meets the standards or objectives of the relevant controls</p>
	<ul style="list-style-type: none"> Stormwater Management 	Refer to Stormwater Concept Management Plan.	
	<ul style="list-style-type: none"> Infill subdivision 	The proposed concept subdivision pattern overall is a logical extension of existing Village development.	
	<ul style="list-style-type: none"> Smaller lot controls – minimum frontage 	Minimum (concept) lot size frontages comply and are appropriate relative to the size of lots proposed..	
	<ul style="list-style-type: none"> Commercial and mixed-use sites. 	The commercial /mixed use components of the (concept) development will accommodate adequate areas for building footprints,, vehicle manoeuvring, car parking and landscaping.	

12.0 Concept Development Strategic Compliance - Snowy Valleys Council Local Strategic Planning Statement (LSPS) 2020 - "Envisage 2040 : Our Path to A Sustainable Future - Spatial Land Use Concepts". Regional Murray River Plan (RMRP) 2036

LSPS/ RMRP Reference	Action	Response
A5	Encourage seniors housing and medium density development in the form of townhouses, villas and dual occupancies adjacent to the commercial areas of Tumut and Tumbarumba and services and facilities such as educational, community and health facilities.	The proposal will increase housing choice including new forms of housing in Talbingo Village.

A7	Review planning controls for on-site parking for medium density housing considering the demand for adaptable housing given the ageing population and the implications of the numbers of couples only, single parent and lone person households.	The proposal increases housing choice in Talbingo including provision of adaptable and accessible housing and apartments and dwellings suitable for single parents and couples.
A15	Consider the range of tourism related business activities that occur or are prioritised to be established within Snowy Valleys to ensure that planning controls are responsive to innovation and change.	Council has implemented zoning changes that encourage appropriate development within the RU5 Village Zone. The proposal aligns with this objective.
RMRP 2036	Promote tourism opportunities.	The proposals achieve this objective. A spa hotel and a range of specialist services and retail outlets will be provided.
Theme 2 - Growth through innovation. Create employment and boost the local economy.	Encourage sustainable tourism initiatives	The proposals achieve this objective. A range of tourist services + accommodation and retail outlets will be provided.
Theme 2 - Growth through innovation	Provide for opportunities for local employment.	The spa hotel and mixed-use components of the development proposal are innovative and will achieve this objective.

<p>Mapping</p> <p>Talbingo Structure Plan (Page 64 of adopted LSPS -. Preferred Land Use Policy).</p> <p>Identifies land for Tourist related development and provides a Land Use Structure Plan.</p>	 <p>The proposal complies with the adopted Council Structure Plan and preferred land use policy which identifies the area within the “urban footprint” suitable for Tourist Related accommodation + residential uses.</p>
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13.0 Environmental Impacts

Note: Please also refer to relevant **APPENDICES**.

Built Form

(a) Spa Hotel

- Although not compliant with the (modest) 7.2 metre height limit specified in part 8.42 of SVCDP 2019 (which diametrically) conflicts with other DCP height limits, the location of the hotel is at a low point in the site with a backdrop of higher land towards the rear. This means that the Spa Hotel will present a low, unobtrusive building profile viewed from the public and private domain. Refer also to proposed controls in proposed SSDCP amendment.
- Adequate solar access is maintained to proposed adjoining residential buildings and adjoining lands in the vicinity;
- The hotel will be an “iconic” built form element marking the “Gateway” to Talbingo.

(a) Mixed Use Development

The mixed-use (shop top housing) buildings are generally consistent with Council's current DCP height control for commercial developments within the RU5 zone (maximum permitted height is 2-3 storeys for this type of development). Although 3 storeys are not strictly compliant with the (modest) 7.2 metre height limit specified in the SVDCP, this “generic” height restriction for Talbingo as a whole conflict with the maximum three (3) levels permitted for commercial development in SVCDP 2019 and should be varied.

Additionally:

- *Proposed mixed-use buildings will not project above the skyline and will present a low, unobtrusive building profile viewed from the public and private domain.*
- *Adequate solar access is maintained to proposed adjoining residential buildings and adjoining lands in the vicinity;*
- *The mixed-use retail/residential buildings “step” appropriately to respect the existing topography of the site .Ground floor car parks will be screened or partly excavated.*
- *The proposed commercial developments will have minimal environmental impact and do not represent an overdevelopment of the site given no unreasonable amenity impacts are anticipated.*
- *The mixed-use buildings will not adversely impact existing dwellings within the Talbingo Township (which are located some considerable distance from this site) in terms of overshadowing or scale, nor will these buildings create unacceptable built form outcomes which diminish the character of the township.*
- *A “new” streetscape some distance from established dwellings in the Village is being created.*

(b) Terrace homes

This component of the development is proposed to be a maximum height of approx. 11.5 metres above finished ground level. Although not numerically compliant with the maximum “generic” 7.2 metre height limit specified in the DCP, the proposed height complies with the *objectives* of Council's planning controls relating to building height because:

- *The terrace homes are relatively low in scale (maximum 3 storeys) with parking under.*
- *The location of these buildings at a lower part of the site with a backdrop of higher land towards the rear means that they will not project above the skyline and will maintain a low, unobtrusive building profile viewed from the public and private domain.*
- *Adequate solar access is maintained to proposed adjoining detached residential buildings and adjoining lands in the vicinity;*

- *The multi-unit housing component will have minimal environmental impact (it is wholly contained or “nestled” within a specific area and separated from the proposed detached dwelling precinct). It does not represent an overdevelopment of the site and no unreasonable amenity impacts are anticipated.*
- *The provisions of the NSW Apartment Design Guide applicable to residential flat buildings can be fully complied with.*
- *The buildings will not adversely impact existing dwellings within the Talbingo Township (which are some considerable distance from this site) in terms of overshadowing or scale, nor will the terrace homes create unacceptable built form outcomes which diminish the character of the township.*
- *As indicated above, a “new” streetscape some distance from established dwellings in the Village is being created.*

(c) Detached Dwellings

Dwellings are arranged around a central green “spine” (around the existing water course) which will become public open space and are serviced by new access roads. The orientation and internal layouts of dwellings can maximise solar access for living areas and private open space. All lots and lot frontages will exceed Council’s minimum lot size requirements and maximum building heights for dwellings will not exceed 7.2metres above natural ground level. Dwelling- houses will be of a high architectural standard employing an architectural sub-alpine “theme” consistent with Talbingo’s current and historic development. The design guidelines for dwellings are inspired by 1950-60s modernist architecture and formal civic planning.

(d) Open Space

Areas of existing Public Open Space are located in close proximity to the proposal. Public Open Space nearby in Spicer Street is part of a broad band of Public Open Space. A substantial amount of open space is proposed as part of the proposal. Most will be private land incorporated within residential lots to ensure its on-going maintenance and management. Additional public open space will be provided adjacent to the watercourse which transverses the propose low density dwelling precinct. Contributions for open space in lieu of land dedication may also be considered appropriate by Council if necessary when considering future more detailed operational development applications.

(e) Flora and Fauna

A Flora and Fauna Assessment has been undertaken by Hayes Environmental and is provided with this application

The Report concludes that the lands are considered to be “Cleared/Disturbed”, and no native vegetation community occurs within the study area. A number of existing trees on the site would be retained in open space areas as indicated in the concept Masterplan supplemented by new tree planting. Based on the disturbed nature of the existing groundcover and noting that the shrub and canopy layers have essentially been cleared:

- No threatened plant species would be expected to occur;
- No endangered populations listed under the TSC Act are of relevance to the study area;
- No ecological communities listed under either the TSC Act or the EPBC Act occur in the study area.

(g) Bushfire Protection

Council’s Bushfire maps indicate that some parts of the land are prone to bushfire.

Comment: A Bushfire Protection Assessment has been undertaken by Endorse (Environmental Engineering) and a copy of the Report is provided. The Report notes that the land contains minimal vegetation, comprised of grassland and woodland, and that, within 140 metres of the property boundaries, there is only one distinct vegetation community identified as being a potential bushfire hazard. The Report further concludes that the proposed subdivision will be allowable within the constraints provided in the Bushfire Guidelines, and makes the following comments and recommendation in relation to bushfire protection measures:

- A perimeter Asset Protection Zone (APZ) comprised of 20 metres of managed understorey or managed grasses within the land and to the eastern, southern and south western boundaries. It is proposed by the applicant that this can be conducted on the adjacent Lot

36. No APZ is considered necessary to the north eastern boundary as the existing developments dominate the landscape in this direction.

- To the north, Miles Franklin Drive currently provides a substantial physical bushfire buffer from the grassland hazard that occurs between this road and Jounama Pondage.
- Within the site all areas designated as open space that connect to vegetation beyond the site (typically drainage lines) must be maintained as an Inner Protection Area (IPA).
- The development is considered to have a low fire behaviour category. No specific construction requirements are considered necessary for any of the proposed lots. This is primarily due to the grassland/open woodland style vegetation being the most significant threat to the development.
- Roads are through roads providing good access to vehicles during a bushfire event. Each of the no-through roads are less than 200 metres in length and with the Bushfire Guidelines.
- Fire hydrants must be located such that a tanker can park within a distance serviceable by a 20-metre hose and attack fires using a 60-metre hose and 10 metre jet of water.

In addition to the above general recommendations, the Report also makes specific recommendations for:

- The creation of APZ's for the protection of each Stage of subdivision; and
- The treatment of the IPA's.

The recommendations of the Bushfire Report have been considered in the preparation of the overall Landscape Concept Plan.

(h) Archaeology and European Heritage Issues

An assessment for both European and Indigenous Heritage has been undertaken by Australian Archaeological Survey Consultants Pty Ltd, and a copy of the Report is provided.

The principal aims of this indicative assessment were to:

- Identify any cultural heritage sites or areas which may have been previously recorded in the Study Area;
- Review the available archaeological information for the Study Area; • Carry out a brief field assessment of the proposed development; and
- Develop a set of management procedures for heritage sites and areas of potential archaeological sensitivity identified within the Study Area.

In respect of Indigenous Heritage, the report concludes that undetected surface deposits are very unlikely in the highly disturbed areas of the land, and this would include the majority of the land which was used for bunkhouse and dormitory accommodation as well as workshops associated with the Snowy Mountains Hydro Scheme.

Further, the only significantly large area that appeared to have potential to contain undetected sub-surface archaeological deposits is the westernmost part of the site.

The Aerial Photograph below indicates the extent to which the land has been disturbed.



Fig. 6 Disturbed Landforms

The report makes recommendations for the preliminary work to be supplemented with a more detailed surface survey and a formal heritage assessment to accompany future detailed development applications including proposed subdivision.

(i) Geotechnical Issues

A preliminary Geotechnical Assessment of the land was undertaken by Douglas Partners, and a copy of the Report is to be provided.

In respect of the relevant issues, the Report concludes :

- There are no obvious signs of site contamination;
- Sample testing indicates a low salinity potential; and,
- The majority of the land, including the whole of Stage 1, has been assessed as being of very low to low risk from land instability with 3 smaller areas assessed as being of low to moderate risk.

The preliminary assessment is that the land is **suitable** for development. A more detailed program of soil sampling/testing will be undertaken as part of engineering design and construction certificate applications to be submitted with more detailed subsequent staged development applications.

Utilities

Existing water, sewerage and electricity utilities are available nearby and will be extended to service Lot 35. Refer to separate “**Services**” report.

(j) Stormwater

A **Stormwater Management Concept Plan** is provided.

The Plan confirms that the site stormwater can be disposed of in an acceptable, environmentally sensitive manner. The proposed development provides an opportunity to create a modern hotel and residential development with minimal stormwater impacts. For example, simple trash racks and sediment settling ponds will achieve a significant improvement in the water quality of the stormwater runoff from the site. These measures can be provided/detailed further in conjunction with the future DA process.

(k) Flooding

The land is not affected by flooding and is not identified as such in TLEP 2012 Flood Mapping. However, a flood study has been undertaken to determine the extent of stormwater flows within the drainage lines that cross the land. The flood study is provided with this application and demonstrates that flows will be

contained within the drainage corridors and that none of the proposed building areas will be adversely affected.

(l) Acoustics

The land fronts Miles Franklin Drive and, although a Tourist Route, does not carry through traffic (road ends at Tumut 3 Power Station and Talbingo Reservoir 6 km south of Talbingo Village). Other than intermittent traffic noise from heavier vehicles and small aircraft unacceptable sources of noise are unlikely. Residential development will be well set back from Miles Franklin Drive. The Spa Hotel will have acoustic glazing so that guests can opt to have a consistently "quiet" internal environment if they so wish. The spa hotel will also create a substantial physical buffer to reduce noise penetration to proposed mixed use developments and to residences.

(m) Traffic, Parking and Access

Refer to **Traffic and Parking Report**. This (expert) report confirms that the proposed traffic and parking arrangements proposed are acceptable.

(n) Landscape Quality

To be carefully conserved so that the rural village atmosphere is maintained. Refer to previous comments in this statement re, topography, placement/heights of buildings and proposed landscaping. Refer to Landscape Plan.

(n) Summary:

The proposal will not:

- result in any significant alteration to the existing landform/landscape or removal of significant vegetation or fauna. It will conserve existing landscape qualities which make Talbingo unique;
- adversely impact upon existing traffic volumes or movements;
- be at risk from bushfire, flooding or landslip;
- result in an unacceptable increase in stormwater peak discharge flow from the site;
- adversely affect items of European Heritage or Aboriginal Archaeological significance;
- generate an unreasonable demand on utility services;
- create unacceptable acoustic impacts or be adversely affected by external noise.
- result in contamination
- adversely impact existing economic activity in Talbingo Village

(o) Social and Economic Impacts

Refer to separate Economic Analysis report (Hill PDA) which concludes that the proposals will have a beneficial impact on overall economic activity in Talbingo. The proposal will have significant positive social and economic impacts **including arresting population decline**.

It will -

- Generate significant economic activity and promote population growth in Talbingo.
- Increase housing choice and assist in reversing population declines within Snowy Valleys LGA.
- Provide long term employment and add a range of dwelling types for residents and visitors in a highly accessible location.
- Have ongoing positive economic impacts throughout the construction process and thereafter during the operational phases of the proposed residential and commercial land uses.

There are no physical, landscape social or economic constraints to the proposed development.

14.0 Matters for Consideration - Section 4.15 EPA Act 1979 (as amended)

i) Environmental planning instruments

Relevant environmental planning instruments have been addressed in this Statement. The proposal is compliant with the land use and social/economic objectives of the Tumut LEP and preferred land use policy as detailed in Council's adopted (2020) Local Strategic Planning Statement. All proposed uses are permissible within the RU5 Zone.

ii) Draft Environmental planning instruments

There are currently no draft environmental planning instruments applicable to the site.

iii) Planning Agreements

There are no planning agreements relevant to the site

iv) EPA Regulations

The regulations have been considered in preparation and submission requirements relating to this development application.

v) Development Control Plans

The provisions of **SVDCP 2019** are comprehensively addressed in **Part 11.0** of this Statement. The proposal responds appropriately to the provisions of the DCP as evidenced by the detailed data provided in this Statement of Environmental Effects and supporting Concept Master Plan documentation together with supporting expert reports. Further development controls and objectives are provided in a **Site-Specific Development Control Plan** (proposed amendment to SVDCP 2019)..

vi) Likely Impacts of The Development

The relevant impacts of the proposed development are comprehensively addressed as detailed above in this Statement and are considered to be acceptable.

vii) Site Suitability

This site is considered suitable for the proposal and is appropriately zoned. This concept master planned development responds positively to the objectives of Council planning strategies and policies including those detailed in Council's 2020 Local Strategic Planning Statement. The proposal is a permitted land use and if implemented as proposed will create a "gateway" development that will significantly enhance Talbingo's status as a signature "go-to" destination. There are no constraints associated with development of the land and so there is a high degree of confidence that appropriate conditions of consent can address any unforeseen environmental impacts if required.

viii) EPA Regulations

The regulations have been considered in preparation and submission requirements relating to this concept development application.

ix) Any submissions made in accordance with this Act or the regulations

Not applicable at this time

x) Public Interest

The proposal is in the public interest for the following reasons:

The concept proposal is consistent with the objectives of relevant planning controls.

The proposal achieves excellent urban "best practice" design outcomes.

- The concept design has been verified by an architect under SEPP 65. It can comply with the requirements of the Apartment Design Guide (ADG) and responds satisfactorily to the provisions of TLEP 2012 and SVDCP 2019.
- The proposal will "activate" the Miles Franklin Drive frontage and enhance public safety in the area generally through increased surveillance of the public domain.

- The impacts of the proposed development can be easily managed or mitigated and will not adversely affect the public domain.
- There are significant social and economic benefits associated with the proposal (see above).

15.0 Conclusion/Summary

The concept proposals have been assessed in accordance with relevant environmental planning instruments and policies, including specified matters for consideration listed in section 4.15 of the Act. Key planning issues are satisfactorily addressed as outlined in detail within this SEE and Concept Master Plan. The proposals satisfy the aims and objectives of relevant environmental planning instruments, including State Environmental Planning Policies, Tumut Local Environmental Plan 2012 (LEP) and Council's 2020 Local Strategic Planning Statement. The provisions of SVCDP 2019 as amended by the proposed SSDCP can be considered in relation to the concept proposals and considered further in conjunction with the future more detailed development assessment process when staged development (operational) applications are lodged. There are no unacceptable environmental impacts.

Conversely, there are significant social, environmental and economic benefits associated with the Proposals.

Potential environmental outcomes have been assessed in appropriate detail in this Statement, including a carefully considered Master Plan approach, heritage conservation significance, landscaping, visual privacy, acoustics, traffic and amenity impacts. The layout and design of the proposed concept Master Planned development responds sensitively to existing and likely future development within Talbingo Village. Future operational DA's are necessary and need to be approved by Council before any physical works can commence. This will enable Council to "check" and further address environmental and other impacts in the context of a more detailed planning and design assessment process.

To summarise, the Concept Proposals –

- Comprise a carefully designed Master Planned development which includes an iconic spa hotel, mixed residential/business uses and low-density detached dwellings/ terrace homes representing an overall economically responsible and environmentally sensitive use of land that will provide employment generating tourist facilities, specialist shopping and residential accommodation. The proposals will address the current shortage of apartments and dwellings for tourists and will meet longer-term housing demands from local residents and visitors to Talbingo; The various land uses are carefully arranged spatially so as to minimise land use conflicts, achieve high levels of amenity for residents and promote a tourist-oriented village atmosphere which will retain Talbingo's unique landscape character and concurrently establish a "Talbingo Destination" theme to attract potential visitors.
- Create a logical network for vehicular and pedestrian access within the site and to and from Talbingo Village; Establish an open space and landscape character which primarily focuses on providing private and public open space
- Enhance the unique landscape character of Talbingo, **assist in reversing population decline** and will contribute to the growth of its community whilst promoting the viability of existing facilities and services in Talbingo Village.
- Are permissible within the RU5 Village Zone and will comply with Council land use policies and strategies.
- Are not constrained environmentally, socially or economically.

The Concept Masterplan Development Application, and supporting documentation are recommended for favourable consideration in principle by Council.

It is further recommended that the Draft Amending Site Specific DCP (SSDCP) be publicly exhibited and at the conclusion of public exhibition the SSDCP be adopted concurrently with determination of the Development Application.

Annexure: List of Associated Supporting Documents

- A **Masterplan** together including the following additional documentation (expert reports) will be provided to support the development application for this site:
- ADG Assessment, Landscape Concept Plan, Public Domain Plan etc. (all to be part of Masterplan Concept architectural drawings).
- Artist's impressions/views
- Site-Specific Development Control Plan
- Statement of Environmental Effects
- Masterplan Concept Architectural Drawings (see above)
- Bushfire Hazard Assessment
- Preliminary Site Contamination Study
- Stormwater Management Concept Strategy + Flood Data
- Site Services
- Traffic Management
- Heritage and Archaeological Report
- Capital investment Report
- Site Survey
- Views/Visual Impact Assessment
- Economic Impact Assessment

END

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22 March 2023.

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**Site-Specific Development Control Plan (Amendment to
Snowy Valleys Development Control Plan 2019) LOT 35 -
DP 878862 Miles Franklin Drive, Talbingo NSW 2720 -
March 2023**

Contents:

This Site-Specific Amending Development Control Plan comprises the following:

1.0 Introduction

2.0 Built Form

3.0 Subdivision

4.0 Public/Private Domain

5.0 Vehicular Access, Parking & Servicing

6.0 Sustainability

7.0 Site Planning & Services

Annexure: List of Associated Supporting Documents

22 MARCH 2023

1.0 INTRODUCTION

The overall intent of this amendment to Snowy Valleys Development Control **Plan** (DCP) 2019 is to:

- Provide specific development controls for the LOT 35 - DP 878862 Miles Franklin Drive, Talbingo NSW 2720. Including proposed land use spatial distribution to support a **Masterplan Concept**.
- Facilitate a “sub-alpine village” concept development that will enhance and contribute to the distinct character of Talbingo.
- Assist the development assessment process by clarifying relevant development controls

A primary objective is to enhance the unique landscape character of Talbingo Village.

1.1 Draft Amending DCP (Amendment to SVC DCP2019)

This DCP amends the provisions of Snowy Valleys DCP 2019 and includes the written documentation below and a site **Masterplan** (see below) together with the supporting documentation listed at **Part 8.0** of this plan.

1.2 Masterplan

A concept **Master Plan** including a plan of subdivision has been prepared to support this Development Control Plan amendment which demonstrates that Lot 35 is suitable for an iconic gateway tourist development (hotel), mixed-use shop-top housing precinct, terrace homes and detached dwelling houses. The development will be staged and implemented in a manner which is environmentally sound and responsive to site planning opportunities and constraints. The concept Masterplan for Lot 35 consists of the following (the following list is not exhaustive):

Design philosophy, land use (spatial) distribution (to comply with SVC DCP 2019 preferred land use strategy), street blocks, open space, building layout and street layouts including pedestrian connections, open space, development lot locations, gross floor areas and building footprints including setbacks to the buildings from the street, building heights and public domain information.

Future detailed (staged) development applications must implement the proposed Masterplan approach (refer to conditions of development consent).

1.6 Relationship to other plans

- The General and Specific Controls referenced in this Site-Specific Development Control Plan Amendment to SVC DCP2019 apply to LOT 35 - DP 878862 Miles Franklin Drive, Talbingo NSW 2720.

- Unless otherwise varied as described in this Section, development should be designed and constructed generally in accordance with the documentation in this DCP Amendment and the site Masterplan together with the supporting Statement of Environmental Effects prepared by SIMPLAN and expert reports detailed at **Part 8** of this Section + the relevant provisions of Snowy Valleys DCP 2019 (as amended). In the event of any inconsistency between the provisions of this Section and supporting Masterplan documentation/expert reports with the requirements of Snowy Valleys DCP 2019, the provisions of this Section prevail to the extent of any inconsistency.

State Environmental Planning Policies

- If there is an inconsistency between the provisions of this DCP Section and a State Environmental Planning Policy, the provisions of the relevant SEPP prevail to the extent of any inconsistency.

1.7 Vision

- The proposed concept development is detailed in the submitted **Masterplan** documentation. It comprises land subdivision and access local road access to facilitate detached homes, low-rise medium density terrace homes, mixed use “shop-top” housing development and a tourist hotel. The interaction of buildings and public spaces is critical in shaping the way this part of Talbingo is experienced and where detailed design plays an important part in the creation of a stimulating pedestrian environment.
- The concept proposal’s attractive, “low key” residential and mixed use/hotel structures will have a distinctive sub- alpine village character reflecting Talbingo’s setting. Carefully conceived and designed conceptual built forms, the use of energy efficient materials and employing natural palettes of colours are integral to the proposed design. Structures are scaled appropriately to transition from and complement the existing low-rise character of Talbingo Village. Significant views are maintained and enhanced including views from the site to the Tumut River and pondage.
- A landscaped open space “spine” traversing the proposed detached dwelling areas will enhance residential amenity of the site and will provide passive recreational opportunities for residents and visitors alike. A concept landscape strategy reflects the (sub - alpine) rural character of the region and will be refined with further detailed landscape plans lodged with staged development applications to include predominantly native species endemic to the locality. Areas of natural vegetation (where present) will be preserved where possible.

1.8 Objectives and General Principles (refer also Parts 1.1 and 1.2 of SVC DCP 2019)

The objectives and general principles for development of the site are as follows:

Character:

- i) Development to respond sensitively to the existing context and character of Talbingo Village and its surrounds.

ii) Create a legible, coherent and attractive village atmosphere

iii) Ensure that spaces comprising the public domain e.g. streetscapes and open spaces are of high quality and amenity.

Sustainability:

- maximize solar orientation to residences
- ensure an ecologically sustainable development outcome.

Economic and Social:

- Create diversity in housing including provision of additional tourist accommodation to address strategically identified accommodation shortfalls (refer to Statement of Environmental Effects).
- Arrest current population declines. Increase retail/commercial activity to complement (but not compete with unduly) existing businesses in Talbingo Village (refer to Hill PDA document detailing economic impacts).
- Encourage tourism by reinforcing Talbingo's role as a significant tourist destination.
- Align with strategic planning objectives (refer to comments in Statement of Environmental Effects) including the relevant economic and housing diversity objectives of Tumut LEP 2012. **Comply with the proposed land use pattern for this locality identified in Council's adopted Local Strategic Planning Statement** (refer to Statement of Environmental Effects) and Council's adopted Community Strategic Plan. The "Master Plan Talbingo and Yarrangobilly Mountain Bike Trail Network" also identifies a significant shortfall of tourist accommodation in Talbingo.
- Enhance both short and long-term local employment options)
- Enhance the viability of Talbingo's existing commercial/retail facilities

Public Domain:

- Provide a safe and efficient road system for vehicular, pedestrian and cycle movement.
- Create informal pedestrian connections and view corridors to public open space within the development area.
- Establish natural and accessible public open space areas within the development which reflect the rural character of the locality.
- Ensure that the interface of the development with development on adjoining lands and the rural environment is acceptable in terms of scale and visual appearance.

Environmental:

- Protect and enhance the natural environment and respect for the traditional Aboriginal heritage of the surrounding locality
- Retain the site's natural features and vegetation where practicable.
- Safely manage overland flow and stormwater through the site and broader precinct and design buildings and landscape in response.

Architectural”

- Ensure that development individually and collectively contributes to the architectural and overall urban design quality of this site and Talbingo generally.
- Ensure the Masterplan Concept is to be carried through to the construction and completion of future development.
- Minimise building bulk wherever possible commensurate with economically viable development outcomes.
- Achieve design excellence using high-quality built forms that respond to local character, topography and surrounding area through appropriate design and use of materials.
- Protect and enhance the amenity of neighbouring properties and ensure a high level of amenity for future residents within the development.

1.9 Context

LOT 35 - DP 878862 is a substantial lot with an area of 15.25 hectares. The site is irregular in shape with undulating terrain sloping downwards towards Miles Franklin Drive and towards the Airport to the east. There are panoramic 180-degree views from the site towards the Jounama Pondage and Tumut River. The previous use of the (greater) part of Lot 35 was for temporary accommodation and workshops in conjunction with establishment of the Snowy Mountains Scheme. Although these buildings have since been removed, remnants of former access roads and building foundations/platforms can still be identified.

The site is cleared with existing predominantly grassed vegetation and scattered remnant native trees persisting in the vicinity of established overland flow paths. To the north-east is Talbingo Village where existing development comprises primarily detached homes and small-scale retail facilities. A range of holiday accommodation options (caravan park, self-contained units and lodges) is available. To the north- west is Talbingo Airstrip + the Jounama Pondage and further to the north-east, the Talbingo Village. Open grazing land adjoins to the east and south-east. The site falls towards Miles Franklin Drive. The property is currently vacant and used for light cattle grazing.

2.0 BUILT FORM

2.1 Site Analysis

Objective:

Evaluate site opportunities and constraints to identify its suitability for architectural design and development options..

Controls:

- A Site Analysis is to be prepared and lodged with the Masterplan.
- Privacy for occupants and the maintenance of neighbour's privacy and amenity, Adequate solar access and natural ventilation
- Suitably located and useable private outdoor areas,
- Desired future character of streets is achieved through setbacks, separation and height, driveway and car parking location,
- Views from the site are optimised,
- Circulation and access are suitably located for the development and the locality,
- The construction of the development is suitable to the slope of the land and reduces the need for cut and fill,
- Cost effective development in relation to connection to services and existing land uses is achieved.
- Removal of trees and site features such as rock outcrops is managed by locating the development to retain existing vegetation and natural features,
- Safety and surveillance of the development and the locality is maximised,

Checklist:

The **Site Analysis** is to identify the following: -

- scale and north point;
- site dimensions and site area;
- spot levels and contours;
- views to and from the site;
- prevailing winds;
- pedestrian and vehicular access to/from the site;
- location, height and use of neighbouring buildings.
- abutting private open spaces and any windows or doors facing the subject site;
- views and solar access;
- easements for drainage, services and rights of carriageway burdening or benefiting the subject property;
- location of existing vegetation, including species, height, spread of established trees and spot levels.
- calculation of maximum built-upon areas, landscaped area and floor space ratio;

- natural features such as rock outcrops, ledges or watercourse;
- fences and boundaries;
- existing means of stormwater drainage and any existing stormwater detention systems;
- surrounding bushland;
- differences in levels between adjacent property boundaries.

2.2 Locality based controls – Talbingo (Part 8.4 of SVC DCP 2019)

Key SVC DCP Statement >> *“The township of Talbingo occupies a strategic location in the Region and has the potential to provide accommodation and services to many of the Region’s residents and tourists”.*

Objective:

- Protect views of lake, open space and Talbingo’s unique landscape character when designing/undertaking development.
- Ensure that development does not unreasonably impact or intentionally obstruct views of local features such as Jounama Pondage whilst not restricting the reasonable development potential of the site.
- Adopt Council’s preferred land use policy for Talbingo. (LSPS 2019 (page 99))

Controls:

- The Key Controls specified in Part 8.4 of SVC DCP 2019 specifically referring to Talbingo Village including references to the preferred (mapped) land use policy which identify this site suitable for residential development and tourist facilities are adopted for the purposes of this Section with the exception of Clause 8.4.2.2 which specifies a generic building height control of 7.2 metres applicable to all structures (see explanatory “text box” below).
- Development permits and maintains views from public areas, streets and open spaces – especially of the Jounama Pondage
- Development transitions to a lower scale closer to existing Talbingo Village
- Development allows for the reasonable sharing of views through the siting, height and design of buildings.
- Development of buildings and structures are an appropriate height, setback, design and setting to preserve significant view corridors.

- **Note:** Controls specifying maximum permitted building heights relative to different building typologies/functions are detailed elsewhere in this Site-Specific Amending DCP and in the submitted Masterplan.

Comments re. Part 8.4.2.2 of SVCDP 2019 (building height control):

The 7.2 metre maximum building height control at Part 8.42 of SVC DCP 2019 is problematic. It directly conflicts with other DCP building height controls and related DCP recommendations defining acceptable building scale for different land uses specified in other parts of SVC DCP2019.

For example, the 7.2 metre control conflicts with an 8.5 metre height control specified in Part 4.11.2 for multi-dwelling housing. It further conflicts with part 5.3.2 of the SVC DCP which states that building heights of up to 3 levels are acceptable for commercial development (no related numerical height limit is specified).

Part 5.3.16 of Council's DCP also states that building heights of up to 3 levels are acceptable for shop top housing (again - no numerical height limit is specified).

Three (3) level development for these development types is obviously impractical if strict compliance with the 7.2 metre height limit is mandated.

It is further noted that no specific height controls are specified in Part 4.5 of SVC DCP 2019 for dwellings within the RU5 Village Zone other than the above (conflicting) generic 7.2 metre height limit mentioned above.

In relation to height controls for detached dwellings, it is noted that an 8.5 metre height limit is permitted for Large Lot Residential, Rural and sensitive Environmental Management Zones (Part 4.7 of SVC DCP). This indicates that a comparable building height for detached dwellings constructed on what is less environmentally sensitive land is acceptable.

2.3 Items of Environmental Heritage

N/A – There are no items of environmental heritage identified in the Tumut LEP impacted by the proposals.

Archaeological significance (Aboriginal and European Heritage):

Objective:

Protect archaeological significance

Controls:

The **Controls** specified in part 8.4.2.5 of SVC DCP 2019 relating to archaeological significance are adopted for the purposes of this Section including the following additional controls –

- A European and Indigenous Heritage Assessment has been undertaken to provide information. The recommendations in that report must be complied with to ensure that any items discovered are identified and treated appropriately.
- Any archaeological relics discovered on site during construction works must be preserved where possible and where they cannot be preserved or moved, appropriate approvals are obtained for their recording prior to removal. An Aboriginal Heritage Impact Permit (AHIP) will be required
- Any works on the subject land are to be in accordance with the National Parks and Wildlife Service Act. In particular the following requirements—
 - (a) Anyone who discovers an aboriginal relic must report it to the Director General of NSW Office of Environment and Heritage
 - (b) A person must not knowingly destroy, damage or deface or knowingly cause or permit the destruction, damage or defacement of any aboriginal object or aboriginal place without first obtaining the consent of the Director General of NSW Office of Environment and Heritage.
 - (c) A person must not excavate or disturb land for the purpose of discovering an aboriginal object without first obtaining the consent of the Director General of NSW Office of Environment and Heritage.

2.4 Apartment Design Quality (ADG) SEPP 65

Objectives:

Development must be consistent with SEPP 65 and the ADG.
Ensure development achieves good amenity standards for residents.

Note – Indicative floor plans are provided for terrace homes, shop-top housing detached dwellings and hotel. Refer to Masterplan.

Controls:

- Comply with submitted Masterplan ADG assessment and desired outcomes when designing built form. (Note: ADG assessment provided with Masterplan).
- Building floorplates and sections are to define positive spaces for streets.
- Building indentations must provide light and ventilation to shop-top apartments and should have a minimum width to depth ratio of 2:1.
- High-level windows not to be used as the primary source of light and ventilation for habitable rooms.
- Daylight and natural ventilation to be provided to all common circulation spaces and windows should be visible from lift cores as well as from the ends of corridors.

- Divisions between any apartment balconies to be of solid construction and extend from floor to ceiling.
- Balustrades to take account of sightlines to balance the need for privacy within apartments and views outwards.
- A proportion of solid or translucent materials to be used.

The following details should be resolved in principle and shown on drawings at DA stage so as not to compromise amenity, built form and aesthetics at a later stage:

- HVAC equipment should be grouped within designated plant areas either on typical floors or on roof tops. If HVAC equipment is located on roof tops of lower buildings, it is to be screened as necessary to minimise impacts of heat build-up and noise to neighbouring units.
- Where HVAC units are located on balconies, they are to be screened
- Wall mounted equipment (e.g. Instantaneous gas hot water heaters) and associated pipe work to be concealed into wall cabinets and ducts.
- If equipment is located on private balconies, additional area above ADG minimum standards is to be provided.
- the above items should be positioned so that they are not visible from common areas or the public domain adjacent to the development.
- Rainwater downpipes are to be integrated into the building fabric and coordinated with stormwater drawings.

2.5 Site (Building) Layouts

Objective:

Ensure that the site layout provides a pleasant, attractive, manageable and resource efficient living environment.

Controls:

- Site layout and planning is to integrate with the surrounding environment through:
- A Statement of Environmental Effects and detailed Site Analysis Plan to be submitted demonstrating how the development addresses the issues outlined above.
- Buildings to face streets.
- Buildings, streetscape and landscape designed take into account of features identified in the Site Analysis.
- Maintain a sub- alpine village character and amenity.
- Ensure adequate solar access to living areas and private open space areas.
- Design open spaces that optimise solar access, are cost effective to maintain and where

possible contribute to stormwater management.

- Ensure that the visual, scenic, and environmental qualities of the locality are maintained. Allow for provision of landscaping that provides suitable areas for tree plantings to grow to maturity.

2.6 Residential Development

(a) Detached dwellings (low density development)

The **Objectives** and **Specific Controls** specified in **Part 4.0** (refer Parts 4.1- 4.5.11) of SVC DCP 2019 relevant to low density detached dwelling development are adopted for the purposes of this Section but as **amended** by the following controls.

Objectives:

Refer to **Part 4.0** SVC DCP 2019

Controls:

- Detached Dwelling housing layout, facade treatment, orientation, site coverage, building setbacks, materials, landscaping, driveway construction and car parking provision are to comply with the “**Low Density Residential Design Standards**” detailed in the submitted **Masterplan** document.
- Dual occupancy development not permitted (Note: separate caveat on title to achieve this will apply).
- Further subdivision of lots not permitted (Note: separate caveat on title to achieve this will apply).

(b) Multi-Dwelling Housing (proposed terrace homes)

The **Specific Controls** specified in **Part 4.11** (refer Parts 4.11.1 - 4.11.20) of SVC DCP 2019 relevant to multi-dwelling housing development are adopted for the purposes of this Section as amended by the following controls - Refer to Masterplan.

Building Design, Scale and Height.

Objectives:

- Ensure that the height, bulk and scale of terrace homes is compatible with the character of Talbingo.
- Achieve urban design excellence in terrace home development through the appropriate composition and articulation of building elements, materials, textures and colours.
- Minimise the visual impact of garages, driveways and parking areas in the streetscape.
- Minimise adverse visual impact and disruption of views.

Controls:

- Terrace homes are not to exceed three (3) levels including ground floor garage levels. Maximum permitted building height from ground level (existing) to the highest point of a terrace home is not to exceed 11.5m
- The total floor space of all terrace homes (site coverage) is not to exceed 60% of the site area of the relevant lot.
- Maximum permitted FSR is 1.5:1
- Minimum landscaped area of site is 30%
- Minimum front setback to dwelling is 3.5 metres
- Minimum rear setback from dwelling is 3 metres
- Building elevations must be staggered where five (5) or more dwellings are proposed. The terraces should be “broken up” visually so that the overall street elevation incorporates visually significant changes in massing and built form using articulation methodologies such as recesses, projections, balconies, blade walls or similar.
- Terrace home development is to “step” with the topography as far as possible in order to minimise building bulk and scale.
- Maximum driveway width is 3 metres
- Maximum width of garage doors is not to exceed 50% of the lot width.
- Garage doors visible from the street must have timber panelling treatment and be recessed from the edge of the external wall.
- Garage door entries are to be differentiated from levels above through articulation and change in colour/materials.

2.7 Shop Top Housing

The **Objectives** and **Specific Controls** specified in **Part 5** (Parts 5.1- 5.3) of SVC DCP 2019 relevant to commercial and shop top housing development are adopted for the purposes of this Section as amended by the following controls:

Controls:

- Maximum permitted building height 11.5m to finished ground line.
- Maximum 3 levels.

Note: Refer to **Masterplan** documentation for details of specific proposals relating to Shop Top Housing (layout and other development standards).

2.8 Commercial (Tourist Hotel) development

The **Objectives** and **Specific Controls** specified in **Part 5** (Parts 5.1- 5.3) of SVC DCP 2019 relevant to commercial development are adopted for the purposes of this Section in relation to the proposed Tourist Hotel as amended by the following controls:

Controls:

- Maximum permitted building height shall not exceed 18m above finished ground line to roof gutter or parapet line
- Minimum lot size 5000m²
- Maximum of 3 levels - Maximum 3.5 m floor to ceiling heights.
- Maximum FSR not to exceed 2:1
- Setbacks to be provided to side and rear boundaries and to Miles Franklin Drive as depicted on Masterplan drawings.
- Car parking to comply with Council's numerical/design requirements.

Note: Refer to **Masterplan** documentation for additional details of building layout and development standards applicable to Hotel.

2.9 Solar Access

Objectives:

Ensure that development:

- does not unreasonably diminish sunlight to neighbouring properties and within the development site.
- enables sunlight access to private open space and enables sunlight access to private open space and habitable rooms to improve amenity and energy efficiency.

Controls:

- Residential development is to comply with the solar and daylight access design criteria and guidance prescribed under the NSW Apartment Design Guide. (A Preliminary Assessment indicates that ADG compliance can be achieved based on the concept plans forming part of the Masterplan as detailed in the **attached** ADG assessment report. More detailed ADG assessments will be lodged with future staged development applications).
- Where residential development cannot strictly comply with the design criteria of the ADG it should demonstrate how site constraints and orientation preclude meeting the design criteria

and how the development will meet the Objectives and Design Guidance 4A-1 of the Apartment Design Guide.

2.10 Acoustics

Objective:

Minimise noise impacts during and post development.

Controls

The **specific Controls** in SVC DCP 2019 relating to vehicle access (see Part 5.3.13) and are adopted. An acoustic report relative to proposed commercial development will be submitted with future staged development applications.

2.11 Safer by Design

Objective:

Prevent crime/vandalism by using environmental design principles.

Controls:

- Crime Prevention Legislative Guidelines will be applied using Safer by Design Evaluations and applied using Environmental Design (CPTED) principles. Reports detailing proposed measures applicable will be lodged with future staged development applications.
- Reports addressing “Safer by Design” issues are to be submitted with future staged development applications when architectural details are progressively finalised.
- Master planned streetscapes are to provide sufficient space and lighting to create a safe environment for residents.
- Buildings are to be sited so they are viewable from the street while maintaining the occupants’ privacy.
- A high degree of surveillance of the street and open space areas is to be provided
- Surveillance of the street and public open space areas is facilitated by siting development to overlook the street and proposed open space.

2.12 Materials

Objective:

Materials selection/materials colours for buildings and for the public domain are to contribute to a high quality durable and sustainable urban environment

Controls:

- Comply with the provisions of SVC DCP in relation to use of materials including colour and texture.
- The selection of materials and colours is to be based on their aesthetic and physical suitability for this sub- alpine locality, durability and their cost-effectiveness, including ongoing maintenance costs. A proposed palette showing materials and colours intended to achieve these outcomes is provided with the Masterplan documents and is to be complied with.

3.0 SUBDIVISION

3.1 Subdivision

The application in part seeks concept approval to subdivide Lot 35 to create XX Torrens title residential allotments for low density housing and for multi-unit dwellings (terrace homes) with separate (larger) allotments provided for mixed use development and a proposed tourist hotel. The proposed subdivision layout is illustrated in the Masterplan documents.

Objectives:

- Encourage efficient use of land.
- Create a sub-alpine village character.
- Achieve good vehicular/pedestrian accessibility and safety and promote the principles of ecological sustainability.
- Allow for inter-lot privacy.
- Maintain significant views from the site.
- Respond to site characteristics, settings, landmarks, views, land capability and traffic planning recommendations
- Maximise northerly aspect of dwellings and apartments
- Ensure adequate private open space is available for residents
- Position allotments to maximise the views of the lake and mountains

Controls:

- The **Specific Controls** specified in **Part 9** of SVC DCP 2019 applicable to subdivision, road layout/access and design, lot alignment, minimum lot size, open space dedication, landscaping, services and stormwater management are adopted for the purpose of this Section as amended by the following controls:

- The subdivision/allotment configuration for dwellings, terrace homes , shop top housing and proposed tourist hotel is to be generally as depicted on the submitted Masterplan concept drawings ref. XXXX dated XXX. A detailed plan of subdivision (development application) compliant with the approved Masterplan is to be lodged with Council for approval at each stage of the development.

Note: A schedule of lot sizes, lot frontages and FSR relative to different building types is at Annexure XX. Refer also to Masterplan documentation and supporting documentation.

4.0 PUBLIC/PRIVATE DOMAIN

4.1 Public Domain Plan & Public Domain Guidelines

A **Public Domain Plan** is lodged with the Masterplan and depicts:

- (a) Location and width of all streets
- (b) Street Type Schedule and layout plan
- (c) Pavement Strategy
- (d) Materials Palette;
- (e) Street Tree Strategy (species, tree surrounds),
- (f) Street Furniture Strategy and Materials Palette;
- (g) Pedestrian and Vehicle Lighting Level Strategy,
- (h) Pedestrian connections and open space
- (i) Street Type Layout Plan

4.2 Public Open Space

Objective

Provide well-located and accessible public open space that meets user needs.

Controls:

- The **Specific Controls** specified in **Part 9.3.4** (refer Parts 4.11.1 - 4.11.20) of SVC DCP 2019 relevant to public open space are adopted for the purposes of this Section as amended by the following controls.
- Public open spaces (proposed public open space “spine” adjacent to watercourse) and play/passive recreational areas within the shop-top housing development are to be provided as identified in the submitted concept Masterplan.
- Detailed designs for public open space are to be developed in consultation with Council.

Public open space is to -

- Incorporate a palette of local landscaping species,
- Integrate stormwater management and urban tree canopies.
- Include design elements, furniture, and infrastructure to facilitate active and passive recreation.
- Maximise the safety and security of users consistent with 'safety by design' principles
- Provide deep soil throughout.
- Encourage pedestrian use through the design/provision of pathways.
- Clearly delineate private and publicly accessible open space.
- Have good solar access.
- Incorporate appropriate levels of lighting to maximise hours of use
- Capable of being well maintained within reasonable costs.
- All public open space is to be dedicated to and maintained by Council.
- Public open space is to receive a minimum of 2 hours of solar access between 9am and 3pm on the 21 June to at least 50% of its area.

4.3 Landscaping

Objective

- Ensure that appropriate sub alpine landscaping is provided which is consistent with the existing character and vegetation typical of the Talbingo locality providing predominantly native species to enhance the biodiversity values and visual amenity of the area.
- Maintain existing vegetation on the site (where possible).

Controls:

- The **General Controls/Advisory data** specified in Part 8.4.2.4, Part 3.2.12, Part 4.11.11, Part 4.56, Part 5.3.12 and Part 9.3.5 of SVC DCP 2019 relating to landscaping generally and requirements relative to different development scenarios are adopted for purposes of this Section in addition to the following controls:
-
- The Concept Landscape Design Plan submitted with the Masterplan is to be complied with.
- Future detailed landscape plans are to be lodged with each staged development application prepared by a suitably qualified landscape designer or horticulturalist and are to address the Concept plan and minimum requirements outlined below. The landscape

designer is to provide certification that the landscape works have been completed in accordance with the landscape design upon completion of the landscape work.

Minimum requirements to be addressed in detailed landscape plans.

- Existing site information (boundaries, contours, underground/overhead services, easements, drainage lines, etc.)
- The movement pattern of the sun in summer and winter and the prevailing seasonal wind conditions.
- The location of adjoining development and any windows or private outdoor areas that are visible to or from the site.
- The height of adjoining development and any shadows cast by the development over the site.
- Any views enjoyed to, and from, the land, including consideration of views into the site and the scenic values associated with the site
- All trees and vegetation on the site, on adjoining lots and within the street including trees to be removed due to the proposed development. This information to identify the actual canopy width of any trees and their heights
- Any natural drainage lines located within the site
- The slope of the site, identified by 1 metre contours
- Any existing built improvements on the site.
- Landscape Consultant details.
- Proposed location of buildings/structures including finished floor levels
- Roadways, car parks, footpaths, driveways with description of materials and finishes.
- Proposed tree planting.
- All landscaped areas and their proposed treatment (mass planting beds, paving, lawn, gravel etc.), planting arrangement, planting schedule (including botanical names and mature heights), quantities, pot size, staking and planting details
- Sub-surface and surface drainage.
- Fences and screens (materials and heights).
- Location of site furniture, fixtures and lighting.
- Indicative cross-sections of important features or areas of the site (entrances, watercourses, retaining walls).
- Site protection works.
- Proposed water quality control devices.

5.0 VEHICULAR ACCESS, PARKING & SERVICING

5.1 Street Network and Footpaths

Objectives

- Provide a safe, efficient, and generous network of pedestrian, bicycle, and vehicular movements.
- Define roads based on a street hierarchy and precinct connectors, which connect to the surrounding street network.

- The road system provides a simple, safe and efficient flow of traffic through the area and allows traffic to quickly and evenly disperse to the local road network
- Adequate road widths are to be provided for ease of navigation through the site with logical connections provided to the existing road system. ‘
- Roads adjoining open space are to facilitate public access and surveillance of open space areas.
- Road reserves and nature strips are provided and designed to provide for tree planting and the cost-effective provision of public utilities.
- Loading docks and waste collection should be incorporated within the basement with one entry where possible

Controls:

- The **General Controls** specified in **Part 3.2.1** of SVC DCP 2019 relevant to public access are adopted for the purposes of this Section in addition to the following controls.
- The street network, hierarchies and widths are to be laid out as per the concept Masterplan.
- Street tree planting and materials for footpaths shall be as detailed in a **Public Domain Plan** to be lodged with staged development applications for land subdivision
- Street tree planting is to use best practice water sensitive urban design (WSUD) measures that provide best long-term sustainability for trees.
- Permeable paving is to be designed and installed where practical to minimise runoff from roads and is to satisfy appropriate standards for site suitability, installation, in-situ soil characteristics, freeze-thaw processes, traffic loading, maintenance and protection from material likely to cause clogging or otherwise hinder performance.
- Pavements are not to receive runoff from areas likely to contribute significant sediment, debris or windblown material.
- Paving units are manufactured and placed to comply with freeze-thaw durability processes and comply with ASTM C1262 – 95.
- Where runoff is derived from non-impervious surfaces, flow shall be pre-treated through the careful placement and design of sediment traps, vegetated filter strips or specially designed gutter systems.
- Temporary protection methods and processes are to be implemented during construction operations to control sedimentation and clogging of permeable pavement and granular underlay materials.

5.2 Car Parking

Objective:

- Ensure adequate car parking is provided relative to the land uses proposed including storage areas for recreational activities.

Controls:

- The **General Controls** and more detailed requirements specified in SVC DCP 2019 relating to car/bicycle parking and design for residential and commercial development (including shop top housing and tourist hotel development) are adopted for the purpose of this Section. (see Parts 3.23, Part 4.11.4 and Part 5.3.4 of SVC DCP 2019).

6.0 SUSTAINABILITY

6.1 Biodiversity

Objective:

- Conserve the biodiversity of the locality and ensure any natural features of the site are preserved and enhanced.

Controls:

- The **Specific Controls** specified in **Part 8.3.2** of SVC DCP 2019 relevant to environmental impact are adopted for the purposes of this Section in addition to the following controls.
- Endemic trees, shrubs and groundcovers are to be provided.
- Groupings of native trees are to be utilised in the open space areas to reduce the visual effects of urban development and retain the natural character of the region.
- All species designated for revegetation are to be selected from the list of proposed planting as recommended by Council.
- Existing flora and fauna habitat are to be preserved to minimise any impact on threatened species, protected and threatened populations and their habitat. Refer to Flora and Fauna report.
- The potential impacts of the proposed development on protected and threatened populations of flora and fauna the following matters is to be considered:
- Removal of boulders and disturbance of natural rocky outcrops should be carefully managed. Where boulders are excavated, they should be redistributed for landscaping purposes on site.

- Development is to be concentrated in disturbed areas of the site.
- Implementation of a soil and water management plan, including a stormwater management plan to minimise the impact of the development on site habitat and downstream.
- Site development should be managed to avoid indirect impacts by:
 - (a) sediment control measures, to avoid siltation of drainage lines and potentially the adjoining pondage.
 - (b) pollution control measures, to reduce the risk of hydrocarbon spills during works and the discharge of increased nutrient loads into waterways during and following development.
 - (c) rapid stabilisation and revegetation of disturbed sites is to be undertaken to reduce the ability of weed species to dominate disturbed sites.

6.2 Recycling, Waste Storage and Disposal

Objectives:

- ensure that adequate on- site provision is made for the temporary storage and disposal of waste and recyclable materials.
- ensure that opportunities to maximise source separation and recovery of recyclables are integrated into the development.
- minimise risk to health and safety associated with handling and disposal of waste and recycled material and the potential for adverse environmental impacts associated with waste management.

Controls:

The relevant **Controls** specified in **Parts 4 & 5** of SVC DCP 2019 dealing with waste management are adopted for the purposes of this Section in addition to the following controls.

- Waste and recycling storage areas are to be located, designed and constructed to ensure integration with the streetscape.
- Residential and commercial waste areas are to be separated with separate accesses.
- Waste and recycling facilities must be managed in acoustically treated areas to minimise the noise of collection.
- A completed site waste minimisation and waste management plan (SWMMP) addressing ongoing waste and resource recovery for both residential and commercial components of the development is to be submitted with future staged development applications. The SWMMP's are to include details of the following:

- Types and estimated quantities of the predicted waste streams
- Size and location of recycling and waste storage areas, including bulky waste - routes of access and transfer from source to storage areas for all users - routes of transfer from storage areas to collection point to be identified on plans.
- Access route for waste and recycling collection vehicle identified on plans.
- Ongoing management, including responsibility for cleaning and transfer of bins between storage areas and collection points, implementation and maintenance of relevant signage, and ongoing education of all residents/tenants

Specific Residential Waste Controls:

- Access to garbage and recycling disposal points is to be provided on each residential level in shop top housing, either in the form of inlet hoppers or bin storage areas. A waste chute is advisable.
- A dedicated space (room or caged area) is to be provided within or in close proximity to the bin storage area for the interim storage and management of Council-collected bulky waste and mattresses.
- Additional communal space is to be provided for the separate recovery of materials including (but not limited to) textiles, hazardous, e-waste, polystyrene, materials under product stewardship schemes and problem wastes. A minimum of 2m² is to be provided for every 50 rooms.

Specific Non-Residential Waste Controls:

- A minimum of 4m² of dedicated space is to be provided for every 500m² GFA of non-residential floor space for the interim storage of bulky or fit-out waste, paper, cardboard packaging, batteries, equipment containing printed circuit boards, computers, televisions, fluorescent tubes or other recyclable resources from the waste stream.
- Dedicated recycling areas (minimum of 4m² of dedicated space) to be provided for every 500m² GFA to be provided to store re-usable

7.0 SITE PLANNING & SERVICES

7.1 Demolition and Flooding

- **Controls**
- The **General Controls** specified in parts 3.27 and Part 3.2.10 of SVC DCP 2019 relating to demolition and flooding are adopted for the purposes of this Section.
- No demolition will be undertaken (site is cleared) and this elevated site is not affected by the 1 in 100-year ARI event (refer to Flood Data with Masterplan).

- Demolition - N/A.

7.2 Stormwater/Roof Water Management

Objectives:

Stormwater planning, including site layout and building design is undertaken to ensure:

- The design of the drainage system takes account of existing downstream systems.
- A variety of controls are incorporated into the design of the system to minimise the impacts on water quality and quantity (where required) of stormwater runoff from the site.
- The stormwater system is accessible and easily maintained, including ready access to system components located on private lots.
- The design protects natural watercourses and riparian corridors by avoiding disturbance, redirection, reshaping or modification of natural systems.
- Stormwater discharge to surface and underground receiving waters during construction activities and post construction do not degrade the quality of receiving waters.
- The stormwater management system optimises the interception, retention and removal of water borne pollutants before their discharge to receiving waters.
- Water quality improvement devices are provided for the treatment of stormwater run-off before discharge from the site and are located to minimise negative impacts on both the natural and built (including traffic management) environments.

Controls:

- The **General Controls** specified in 3.2.17 of SVC DCP 2019 relating to Stormwater/roof Water Management are adopted for the purposes of this Section as amended by the following additional controls:
- Comply with the **Stormwater Management Plan** is submitted with the concept Masterplan. (this plan details source controls, conveyance controls, discharge controls, water quality improvement controls, water quantity controls and overland flow paths).
- Ensure pre-development (natural) overland flow paths are restored.
- Ensure that run-off does not impact on surrounding properties or the environment resulting in damage to public and private assets, reduced property values or requires additional expenditure on flood mitigation or drainage works for properties outside the precinct.
- Ensure that sustainable water management practices are applied, where practicable
- Minimise soil disturbances to existing landform wherever possible and avoid particulate runoff.
- Stormwater/roof water management is to comply with the relevant provisions of the Landcom Publication : *Managing Urban Stormwater – Soils and Construction - Volume 1 - 4th edition*.

7.2 Erosion and Sediment control

Objectives:

- Minimise erosion/sediment run off from the site during and post development process
Maintain existing site soil profiles.

Controls

- The **General Controls** specified in part 3.2.9 of SVC DCP 2019 relating to erosion and sediment control are adopted for the purposes of this Section including the following additional controls:
- An **Erosion and Sediment Control Plan** is to be submitted with future staged development applications.

7.3 Cut and Fill

Objective:

Minimise excessive disturbance to existing landform. **Note:** Proposed cut and fill for roads and allotments is to be minimised but will inevitably be determined by existing topography, road grading and site access requirements

Controls:

- The **General Controls** specified in part 3.2.6 of SVC DCP 2019 relating to cut and fill are adopted for the purpose of this Section as amended by the following additional controls:

General requirements:

- Driveway access shall be in accordance with AS2890.1.
- Cut and fill must consider the implications of incidental flooding and does not impound or redirect runoff to affect other properties.
- Building designs are to be appropriate for site conditions with consideration given to the stability of the site and adjoining site and the privacy of the adjoining dwellings.
- Development is to be designed to minimise the effect of disturbance on any land and ensure that dangerous excavations are avoided, or where necessary, properly retained and secured.
- Development within two (2) metres of the allotment boundaries is to employ construction methods that will retain the fill within the confines of the building, e.g. “drop edge” raft slabs etc.

- Cut and fill batters should not exceed as slope of 1:2 to the natural ground level unless the foundation strata of the area permit otherwise and Council is satisfied with the site stability. All batters are to be provided with both short term and long term stabilisation to prevent soil erosion.
- Stormwater or surface water runoff shall not be redirected or concentrated onto adjoining properties so as to cause a nuisance and adequate drainage is to be provided to divert water away from batters.
- A “cut and fill plan” is to be submitted as part of civil plans and lodged with future staged development applications.

7.4 Bushfire Planning

Objective:

Safeguard residents and properties from bushfire attack. Comply with the relevant NSW Rural Fire Service Planning for Bushfire Protection Guidelines.

Comment: The intent of council’s requirement for development is to ensure that all future building and occupation within the estate are suitably sited, designed and constructed to comply with current bushfire protection planning guidelines and standards.

Controls:

- The **controls** specified in SVC DCP 2019 relating to bushfire planning/protection are adopted for the purpose of this Section in addition to the following controls:
- Comply with the submitted Bushfire Assessment Report recommendation(s) prepared for this site.
- Comply with planning and construction requirements of “Planning for Bushfire Protection 2019 (PBP2019)” and “Australian Standard AS 3959:2018 Construction of buildings in bushfire prone land”.

7.5 On-site Wastewater Management

Objective:

Ensure waste water is disposed of via Council’s reticulated sewerage system.

Controls:

- The **General Controls** specified in 3.2.13 of SVC DCP 2019 relating to On-site Wastewater Management including compliance with listed Australian and National Standards and buffer distance requirements are adopted for the purposes of this Section in addition to the following controls:

- **A Wastewater Management Report** prepared by a suitably qualified person specialising in wastewater management is to be submitted with all future staged development applications.

7.6 Services/Utilities

Objective:

Ensure all essential utilities are available to the service the development and ensure site services are appropriate to the needs of residents + appropriately consider the environment.

Controls:

- The **General Controls** specified in 3.2.14 of SVC DCP 2019 relating to provision of services are adopted for the purposes of this Section. Sewerage, water, electricity and telecommunications facilities will be connected to the site to service individual properties in addition to the following controls:
- Electricity reticulation shall be underground.
- Install smart meters to assist with the billing for individual dwellings.
- Install underground water tanks for dwellings for personal and firefighting use.
- Dwelling/terrace home roof areas are to be available for solar panel installation.
- Electricity supply and service to common areas and individual Lots to be provided by the developer.
- Wireless NBN will to be available to all lots (subject to NBN technology).
- Gas connection to be (optionally) available to all lots.
- Water and Sewer connection to be provided to Council Treatment Plant
- EV and E-bike charging facilities are to be provided for dwellings and terrace homes, and shared facilities provided within or adjacent to car spaces for mixed use and commercial developments e.g. within car spaces allocated for shops, apartments and hotel.
- Comply with the recommendations of the separate report submitted with the concept development application detailing proposed provision/extension of utilities.

7.7 Retaining Walls

Objective:

Minimise the impact of retaining walls and ensure construction in appropriate materials.

Controls:

The **General Controls** specified in 3.2.15 of SVC DCP 2019 relating to construction/design of retaining walls are adopted for the purposes of this Section.

7.9 Earthworks

Objective:

Minimise the impact of earthworks on the site for the construction of roads, installation of drainage works and creation of level allotments for future dwellings and commercial/mixed use development..

Controls:

- Comply with the provisions of SVCDP 2019 in relation to earthworks.
- Details of the proposed extent of cut and fill across the site is to be submitted with future staged development applications.

7.10 Contamination

Objective:

The objective of the preliminary site contamination investigation is to assess whether any contamination has the potential to exist on the site and whether further investigation is needed. The report has concluded that the site is suitable for residential, mixed use and commercial development.

Controls:

- Refer to preliminary Site Contamination Report submitted with the Masterplan. This report confirms that no contamination has been detected on the site warranting further action at this stage.
- Any contamination discovered on site during construction must be removed in accordance with *State Environmental Planning Policy (Resilience and Hazards) 2021* and *Managing Land Contamination - Planning Guidelines*

ANNEXURE: LIST OF ASSOCIATED SUPPORTING DOCUMENTS

- A **Masterplan** together including the following additional documentation (expert reports) will be provided to support the development application for this site:
- ADG Assessment, Landscape Concept Plan, Public Domain Plan etc. (all to be part of Masterplan Concept architectural drawings).
- Artist's impressions/views.

- Site-Specific Development Control Plan.
- Statement of Environmental Effects.
- Masterplan Concept Architectural Drawings (see above).
- Bushfire Hazard Assessment.
- Preliminary Site Contamination Study.
- Stormwater Management Concept Strategy + Flood Data.
- Site Services.
- Traffic Management
- Heritage and Archaeological Report.
- Capital investment Report.
- Site Survey.
- Views/Visual Impact Assessment.
- Economic Impact Assessment.

END

22 March 2023

**SIMPLAN Consulting
Town Planners**

ABN 21737967818.

17 Ivanhoe Road, Croydon NSW 2132.

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TALBINGO WEST MASTERPLAN

MASTERPLAN CONCEPT FOR LOT 35 DP 878862
MILES FRANKLIN DRIVE TALBINGO NSW

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

**LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW**

DATE

22 MAR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

COVER PAGE

DRAWING NUMBER

CP

SCALE

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DRAWING SCHEDULE

ARCHITECTURAL DRAWINGS

CP	COVER PAGE	-	PL 23	PROPOSED HOTEL ELEVATION	1.750
DS	DRAWING SCHEDULE	-	PL 24	PROPOSED HOTEL GARAGE FLOOR PLAN	1.750
IMG 01	PROPOSED IMAGE 01	-	PL 25	PROPOSED HOTEL GROUND FLOOR PLAN	1.750
IMG 02	PROPOSED IMAGE 02	-	PL 26	PROPOSED HOTEL FIRST AND SECOND FLOOR PLANS	1.750
IMG 03	PROPOSED IMAGE 03	-	PL 27	PROPOSED SITE SECTIONS	1.2500
IMG 04	PROPOSED IMAGE 04	-	SH 01	PROPOSED SHADOW DIAGRAMS 21 DECEMBER AT 9AM	1.2500
PL 01	SITE ANALYSIS PLAN	-	SH 02	PROPOSED SHADOW DIAGRAMS 21 DECEMBER AT 12PM	1.2500
PL 02	PROPOSED LOT DEVELOPMENT PLAN	1.2500	SH 03	PROPOSED SHADOW DIAGRAMS 21 DECEMBER AT 3PM	1.2500
PL 03	PROPOSED MASTERPLAN CONCEPT SITE PLAN	1.2500	SH 04	PROPOSED SHADOW DIAGRAMS 21 JUNE AT 9AM	1.2500
PL 04	PROPOSED MASTERPLAN CONCEPT LAND USE AND STAGING PLAN	1.2500	SH 05	PROPOSED SHADOW DIAGRAMS 21 JUNE AT 12PM	1.2500
PL 05	PROPOSED MASTERPLAN CONCEPT LOT AREAS PLAN	1.2500	SH 06	PROPOSED SHADOW DIAGRAMS 21 JUNE AT 3PM	1.2500
PL 06	PROPOSED MASTERPLAN CONCEPT FSR AND HEIGHT LIMITS PLAN	1.2500			
PL 07	PROPOSED MASTERPLAN CONCEPT VEHICLE ACCESS PLAN	1.2500			
PL 08	PROPOSED MASTERPLAN CONCEPT PEDESTRIAN ACCESS AND BICYCLE PATH PLAN	1.2500			
PL 09	PROPOSED MASTERPLAN CONCEPT LANDSCAPE PLAN	1.2500			
PL 10	QUANTITIES SCHEDULE	-			
PL 11	PROPOSED SINGLE DWELLING RESIDENTIAL AREA LOT PLAN	1.1000			
PL 12	PROPOSED SHOP TOP HOUSING LOT PLAN	1.1000			
PL 13	PROPOSED MULTI-UNIT DWELLING (TERRACE HOMES) ELEVATIONS	1.200			
PL 14	PROPOSED MULTI-UNIT DWELLING (TERRACE HOMES) FLOOR PLANS	1.200			
PL 15	PROPOSED MULTI-UNIT DWELLING (TERRACE HOMES) FLOOR PLANS	1.100			
PL 16	PROPOSED SHOP TOP HOUSING TYPICAL ELEVATIONS	1.200			
PL 17	PROPOSED SHOP TOP HOUSING TYPICAL GROUND FLOOR PLAN	1.200			
PL 18	PROPOSED SHOP TOP HOUSING TYPICAL FIRST FLOOR PLAN	1.200			
PL 19	PROPOSED SHOP TOP HOUSING TYPICAL SECOND FLOOR PLAN	1.200			
PL 20	PROPOSED SHOP TOP HOUSING TYPICAL GROUND FLOOR PLAN	1.100			
PL 21	PROPOSED SHOP TOP HOUSING TYPICAL FIRST FLOOR PLAN	1.100			
PL 22	PROPOSED SHOP TOP HOUSING TYPICAL SECOND FLOOR PLAN	1.100			

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
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DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

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PROPOSED IMAGE 01

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PROPOSED IMAGE 02

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PROPOSED IMAGE 02

DRAWING NUMBER

IMG 02

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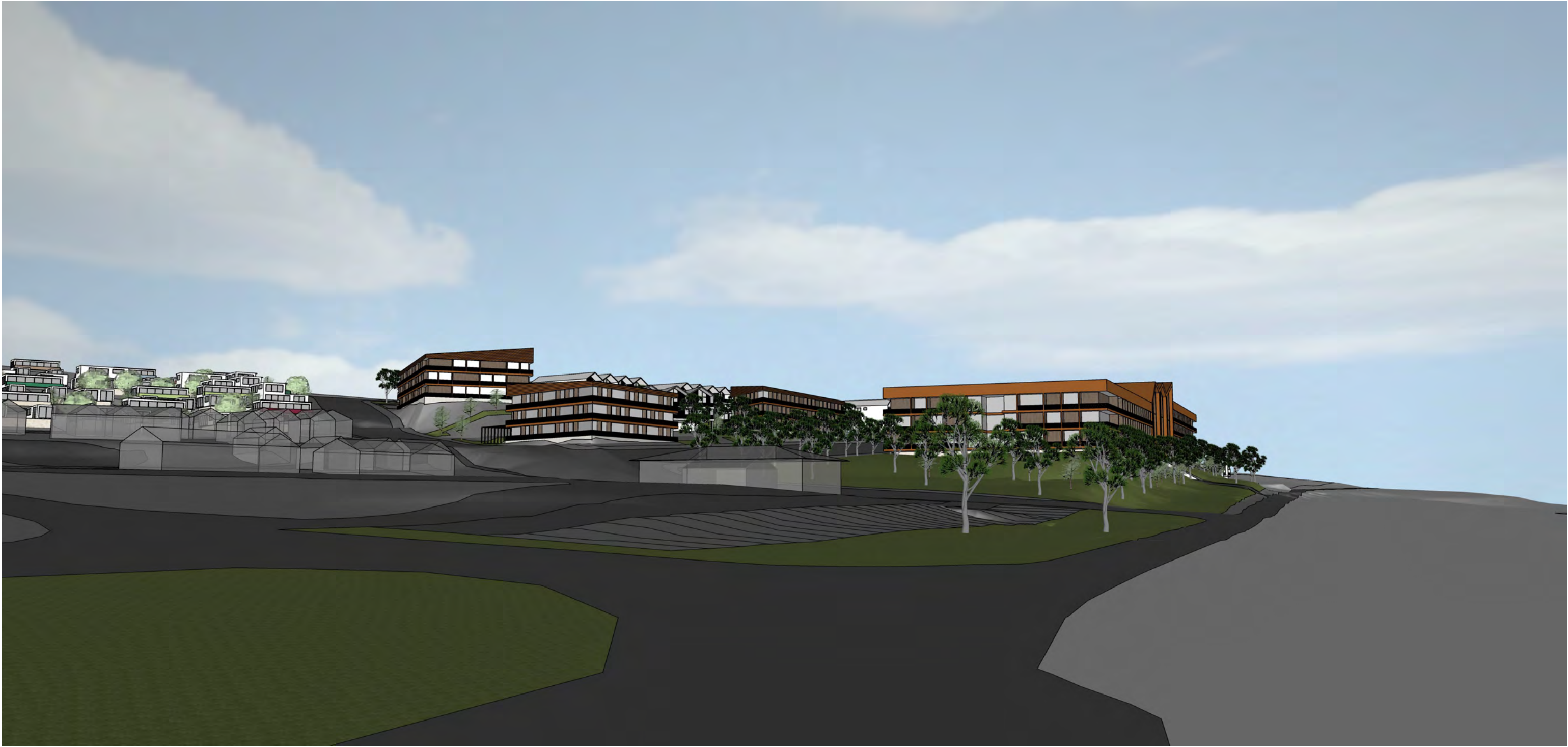
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PROPOSED IMAGE 03

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PROPOSED IMAGE 04

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PROJECT AND LOCATION

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PROPOSED IMAGE 04

DRAWING NUMBER

IMG 04

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SITE ANALYSIS PLAN
NTS

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
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DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

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SITE ANALYSIS PLAN

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PROPOSED LOT DEVELOPMENT PLAN
1.2500

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

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DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED LOT DEVELOPMENT PLAN

DRAWING NUMBER

PL 02

SCALE

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PROPOSED MASTERPLAN CONCEPT SITE PLAN
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DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED MASTERPLAN CONCEPT
SITE PLAN

DRAWING NUMBER

PL 03

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1.2500



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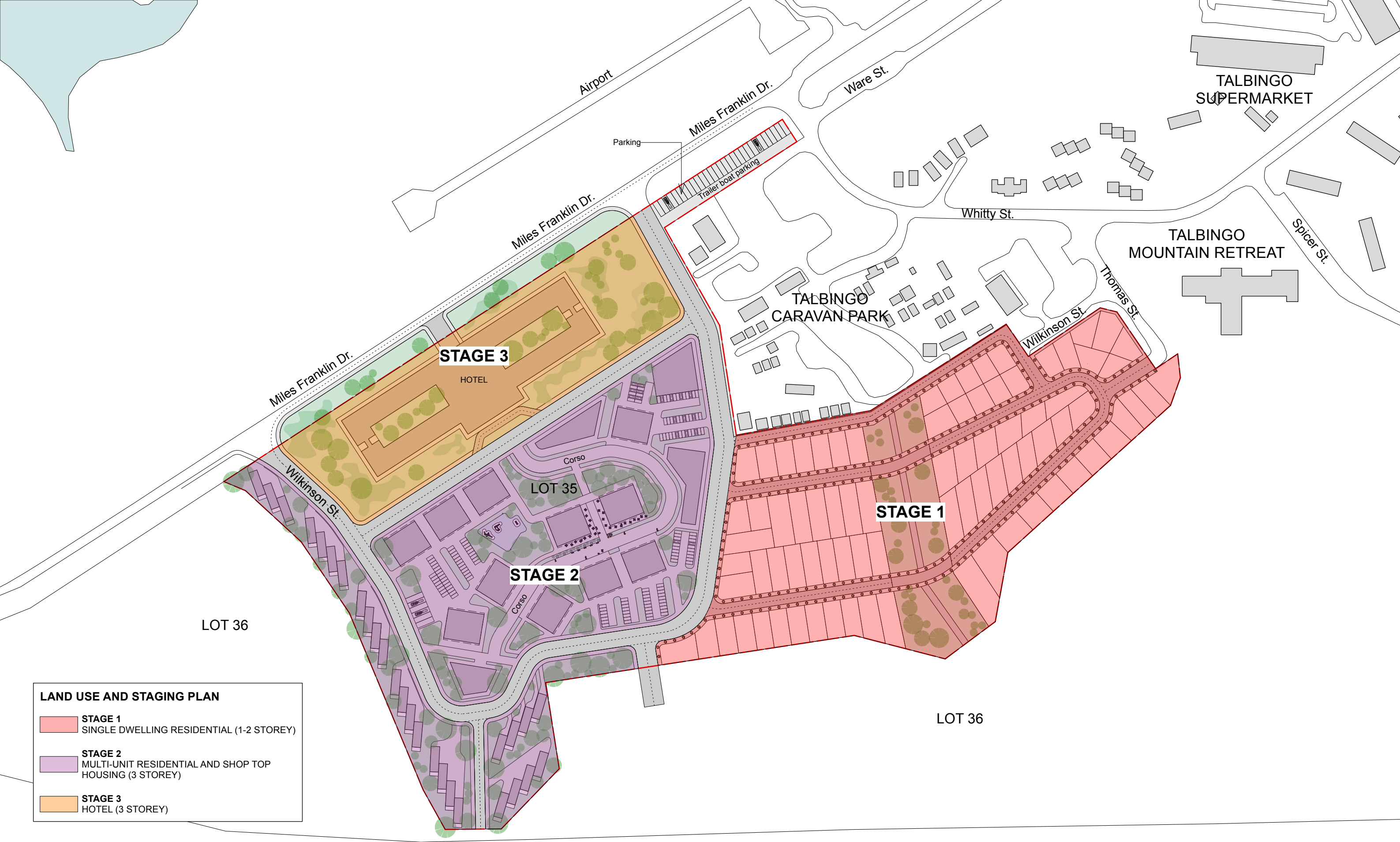
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LAND USE AND STAGING PLAN

STAGE 1
SINGLE DWELLING RESIDENTIAL (1-2 STOREY)

STAGE 2
MULTI-UNIT RESIDENTIAL AND SHOP TOP HOUSING (3 STOREY)

STAGE 3
HOTEL (3 STOREY)

PROPOSED MASTERPLAN CONCEPT
LAND USE AND STAGING PLAN
1.2500

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

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DRAWING STAGE

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PROPOSED MASTERPLAN CONCEPT
LAND USE AND STAGING PLAN

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PROPOSED MASTERPLAN CONCEPT
LOT AREAS PLAN
1.2500

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION
LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE
22 MAR 23

DRAWING STAGE
MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION
PROPOSED MASTERPLAN CONCEPT
LOT AREAS PLAN

DRAWING NUMBER
PL 05

SCALE
1.2500

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PROPOSED MASTERPLAN CONCEPT
FSR AND HEIGHT LIMITS PLAN
1.2500

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

22 MAR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED MASTERPLAN CONCEPT
FSR AND HEIGHT LIMITS PLAN

DRAWING NUMBER

PL 06

SCALE

1.2500



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PROPOSED MASTERPLAN CONCEPT
VEHICLE ACCESS PLAN
1.2500

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
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DATE

22 MAR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED MASTERPLAN CONCEPT
VEHICLE ACCESS PLAN

DRAWING NUMBER

PL 07

SCALE

1.2500



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PROPOSED MASTERPLAN CONCEPT
PEDESTRIAN AND BICYCLE PATH PLAN
1.2500

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

22 MAR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED MASTERPLAN CONCEPT
PEDESTRIAN AND BICYCLE PATH PLAN

DRAWING NUMBER

PL 08

SCALE

1.2500



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PROPOSED MASTERPLAN CONCEPT
LANDSCAPE PLAN
1.2500

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

22 MAR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED MASTERPLAN CONCEPT
LANDSCAPE PLAN

DRAWING NUMBER

PL 09

SCALE

1.2500



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PROPOSED MASTERPLAN CONCEPT
LANDSCAPE PLANTING SCHEDULE
1.2500

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

22 MAR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED MASTERPLAN CONCEPT
LANDSCAPE PLANTING SCHEDULE

DRAWING NUMBER

PL 09

SCALE

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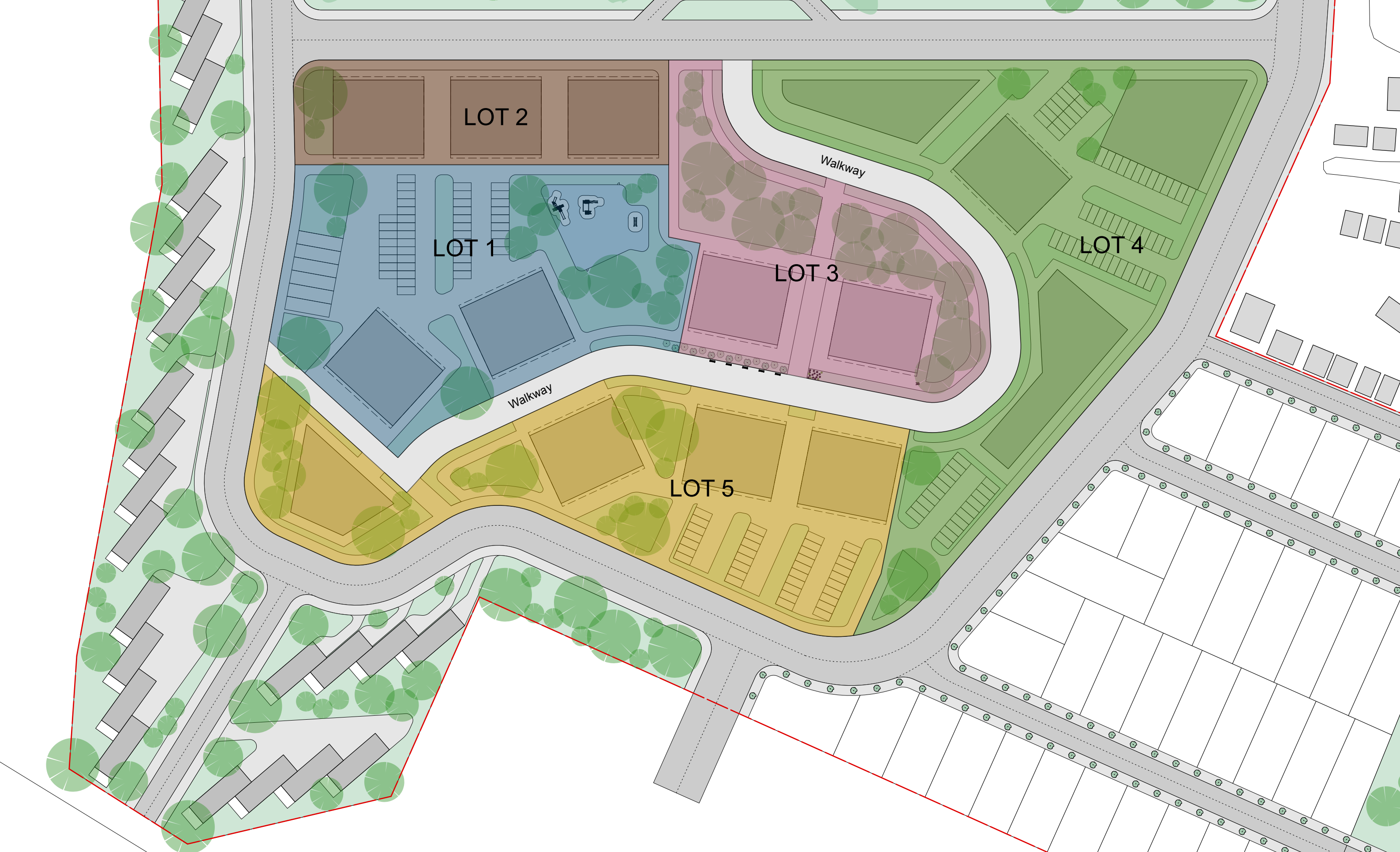
TOWNHOUSES (RESIDENTIAL)
QUANTITY = 27 TOWNHOUSES
BASEMENT AREA = 105.70 sq.m GROUND FLOOR AREA = 92.85 sq.m FIRST FLOOR AREA = 94.80 sq.m
TOTAL FLOOR AREA (GF + FF) = 187.65 sq.m

STANDARD APARTMENTS (MIXED USE)
QUANTITY = 11 BUILDINGS
GROUND FLOOR AREA (COMMERCIAL) = 252.65 sq.m FIRST FLOOR AREA (RESIDENTIAL) = 441.40 sq.m SECOND FLOOR AREA (RESIDENTIAL) = 441.40 sqm
TOTAL COMMERCIAL AREA (GF) = 252.65 sq.m TOTAL RESIDENTIAL AREA (FF + SF) = 882.80 sq.m
CAR SPACES = 18 / BUILDING TOTAL = 198 CAR SPACES

OTHER APARTMENTS (MIXED USE)
QUANTITY = 4 BUILDINGS
BUILDING 3.1 GROUND FLOOR AREA (COMMERCIAL) = 615.70 sq.m FIRST FLOOR AREA (RESIDENTIAL) = 615.70 sq.m SECOND FLOOR AREA (RESIDENTIAL) = 615.70 sqm
TOTAL COMMERCIAL AREA (GF) = 615.70 sq.m TOTAL RESIDENTIAL AREA (FF + SF) = 1231.40 sq.m
BUILDING 3.3 GROUND FLOOR AREA (COMMERCIAL) = 826.20 sq.m FIRST FLOOR AREA (RESIDENTIAL) = 826.20 sq.m SECOND FLOOR AREA (RESIDENTIAL) = 826.20 sq.m
TOTAL COMMERCIAL AREA (GF) = 826.60 sq.m TOTAL RESIDENTIAL AREA (FF + SF) = 1653.20 sq.m
BUILDING 3.4 GROUND FLOOR AREA (COMMERCIAL) = 859.90 sq.m FIRST FLOOR AREA (RESIDENTIAL) = 859.90 sq.m SECOND FLOOR AREA (RESIDENTIAL) = 859.90 sq.m
TOTAL COMMERCIAL AREA (GF) = 859.90 sq.m TOTAL RESIDENTIAL AREA (FF+ SF) = 1719.80 sq.m
BUILDING 5.4 GROUND FLOOR AREA (COMMERCIAL) = 471.25 sq.m FIRST FLOOR AREA (RESIDENTIAL) = 471.25 sq.m SECOND FLOOR AREA (RESIDENTIAL) = 471.25 sq.m
TOTAL COMMERCIAL AREA (GF) = 471.25 sq.m TOTAL RESIDENTIAL AREA (FF + SF) = 942.50 sq.m

HOTEL
BASEMENT AREA (PARKING) = 7410.20 sq.m GROUND FLOOR AREA = 7367.70 sq.m sq.m FIRST FLOOR AREA = 7367.70 sq.m
TOTAL HOTEL AREA (GF + FF) = 14735.40 sq.m
76 HOTEL ROOMS 56 CONSULTING ROOMS
264 CAR SPACES

PARKING
HOTEL = 264 CAR SPACES APARTMENT BUILDINGS = 198 CAR SPACES
OPEN SPACE = 156 CAR SPACES



PROPOSED SHOP TOP HOUSING LOT PLAN
1.1000

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

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DATE

22 MAR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED SHOP TOP HOUSING
LOT PLAN

DRAWING NUMBER

PL 12

SCALE

1.1000



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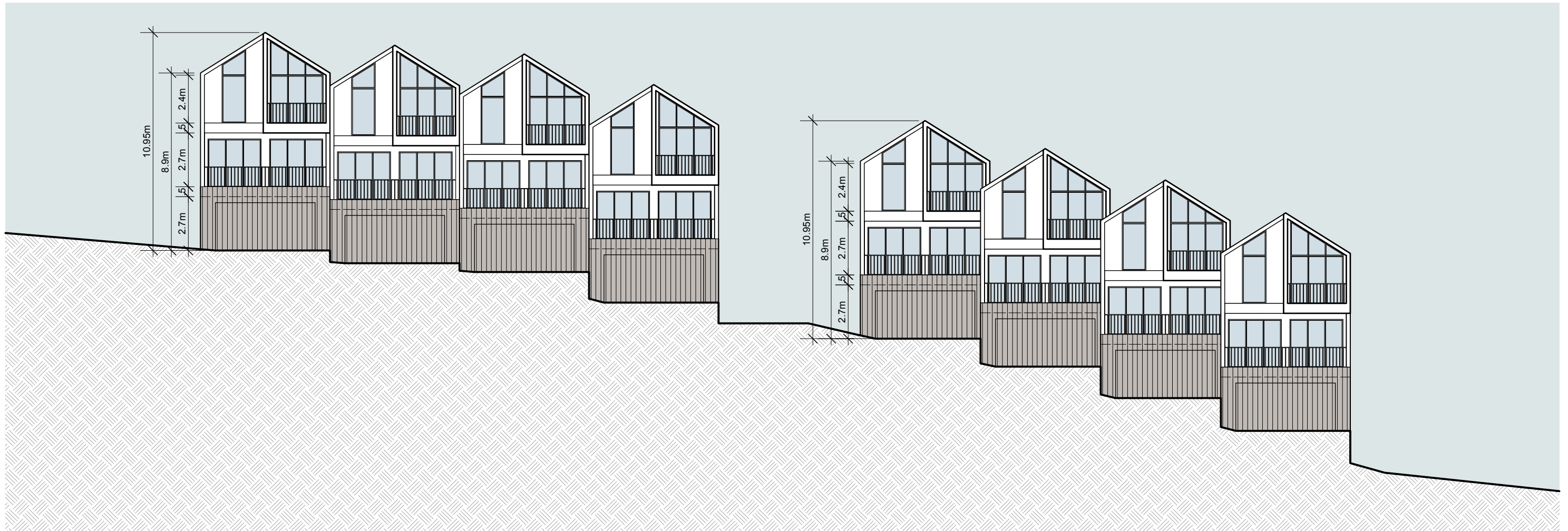
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PROPOSED MULTI-UNIT DWELLING
(TERRACE HOMES) ELEVATIONS
1.200

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

22 MAR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED MULTI-UNIT DWELLING
(TERRACE HOMES) ELEVATIONS

DRAWING NUMBER

PL 13

SCALE

1.200

SERVICES PROVIDED BY

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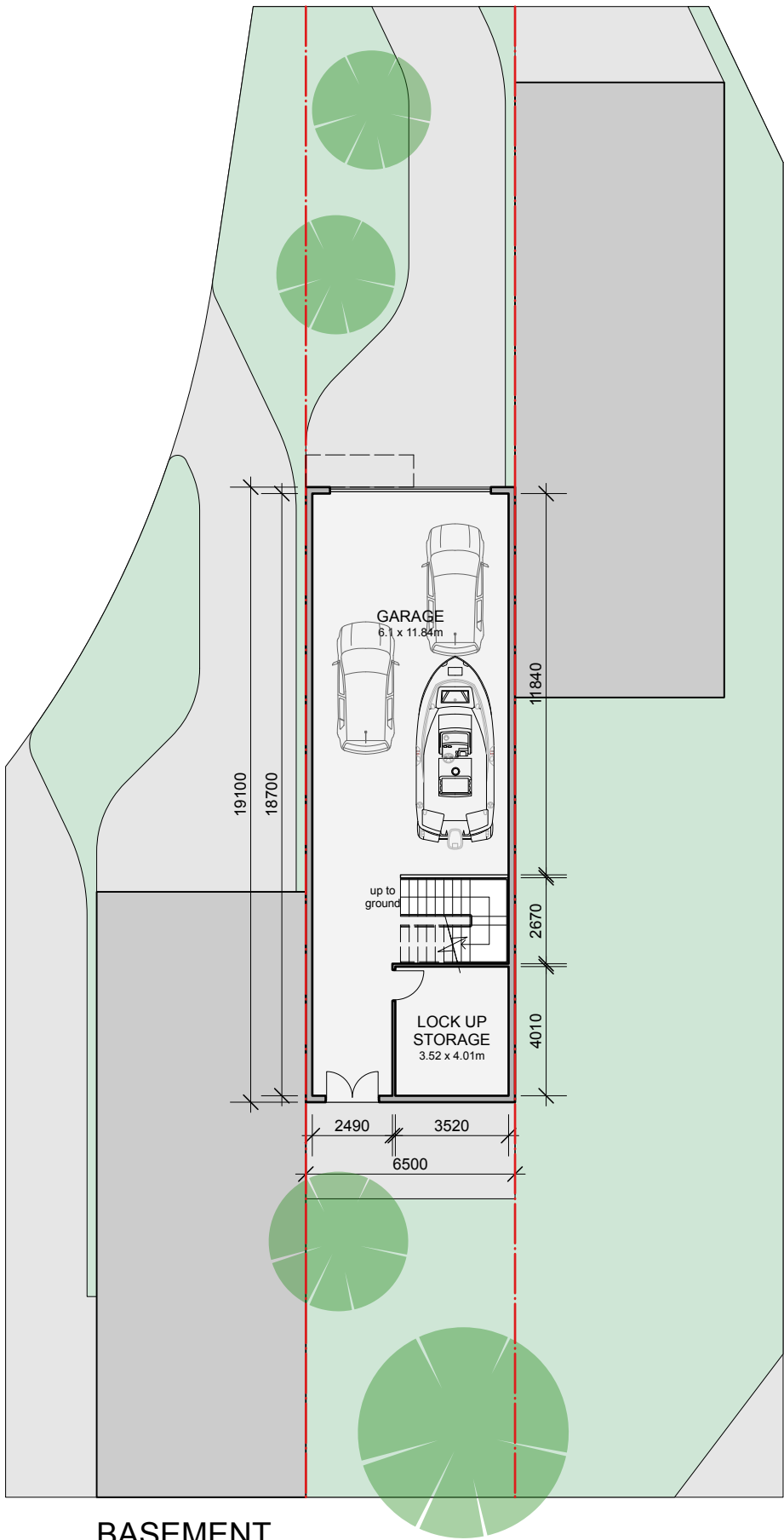
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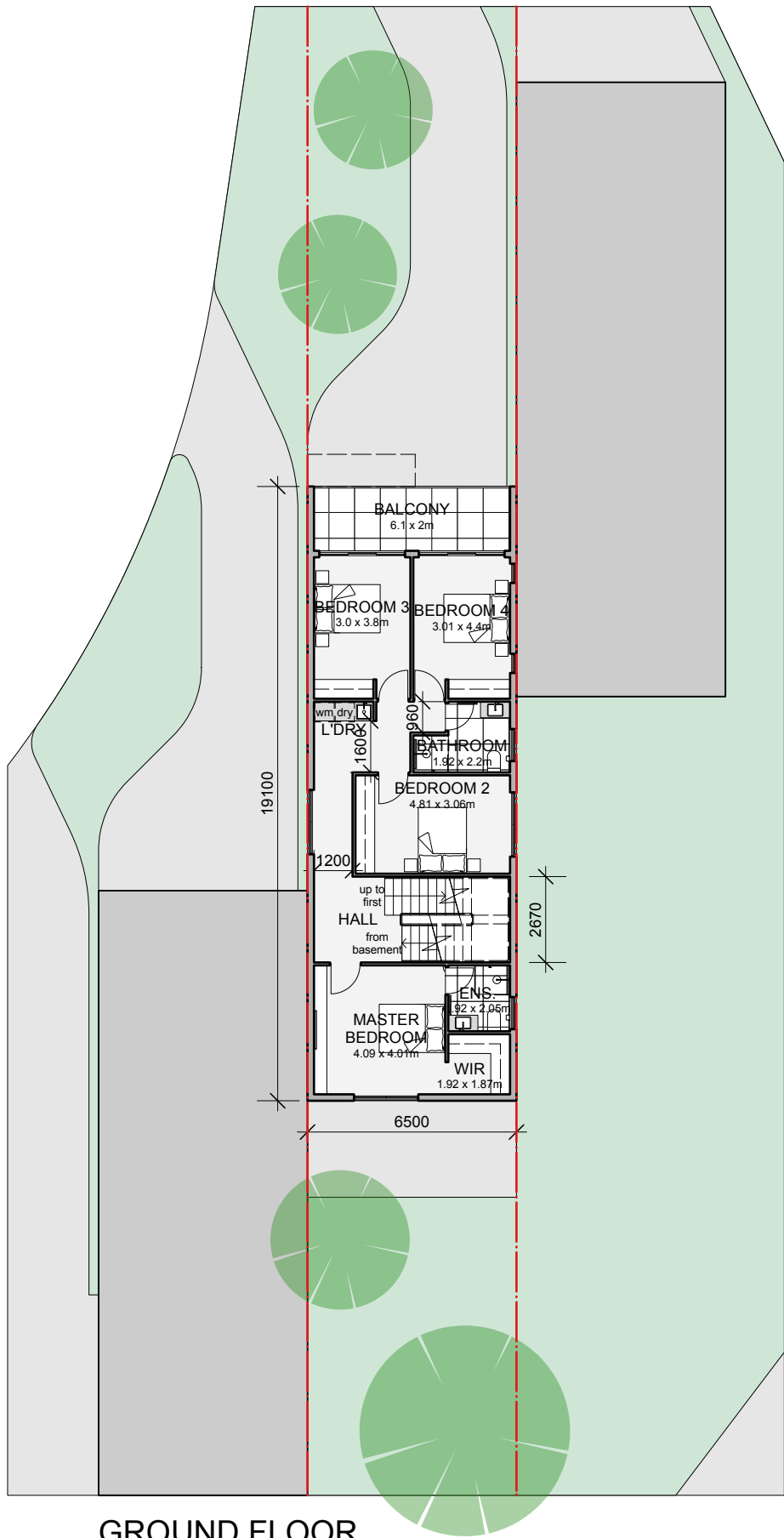
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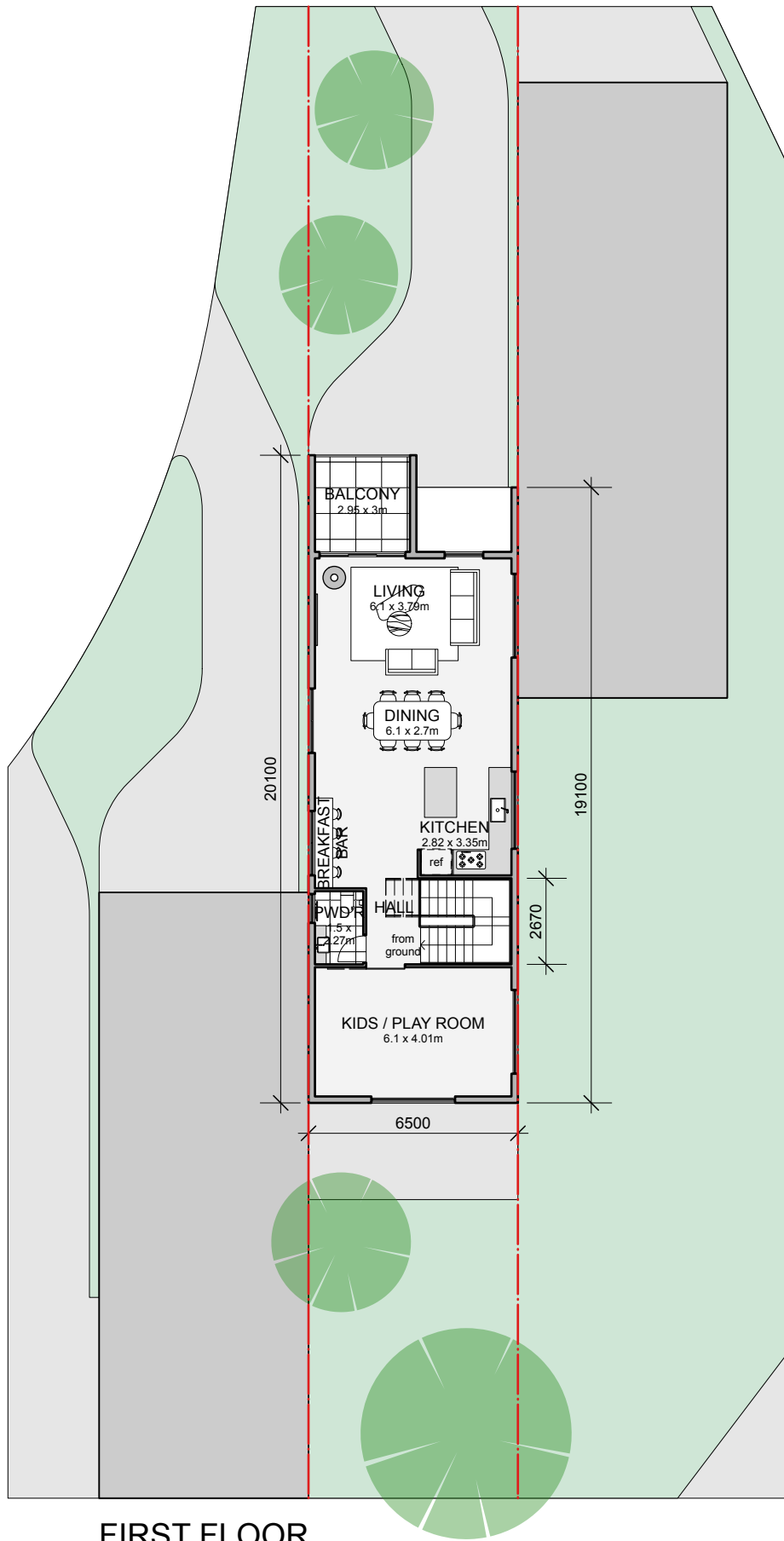
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BASEMENT



GROUND FLOOR



FIRST FLOOR

PROPOSED MULTI-UNIT DWELLING
(TERRACE HOMES) FLOOR PLANS
1.200

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

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DATE

22 MAR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED MULTI-UNIT DWELLING
(TERRACE HOMES) FLOOR PLANS

DRAWING NUMBER

PL 14

SCALE

1.200

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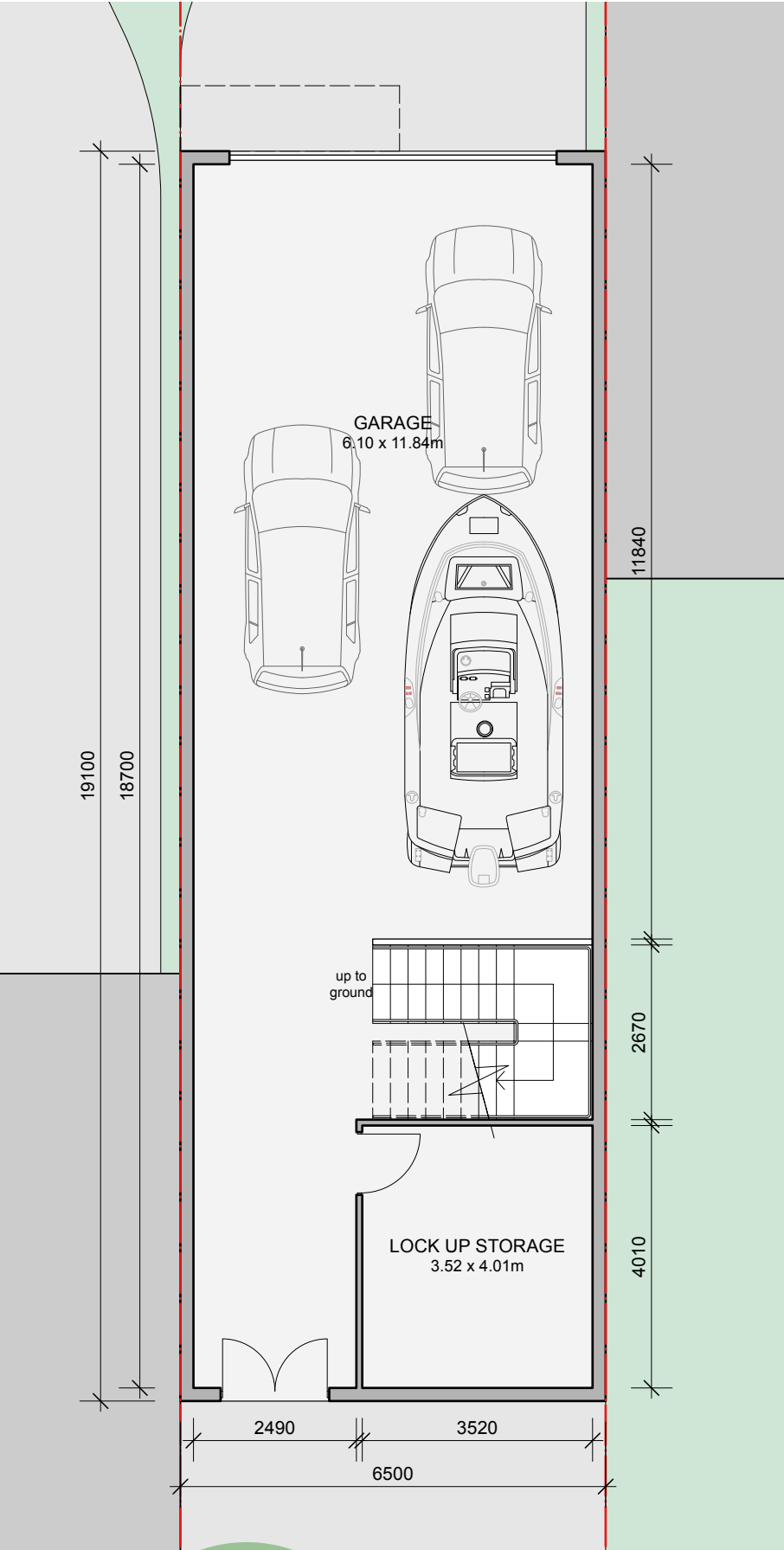
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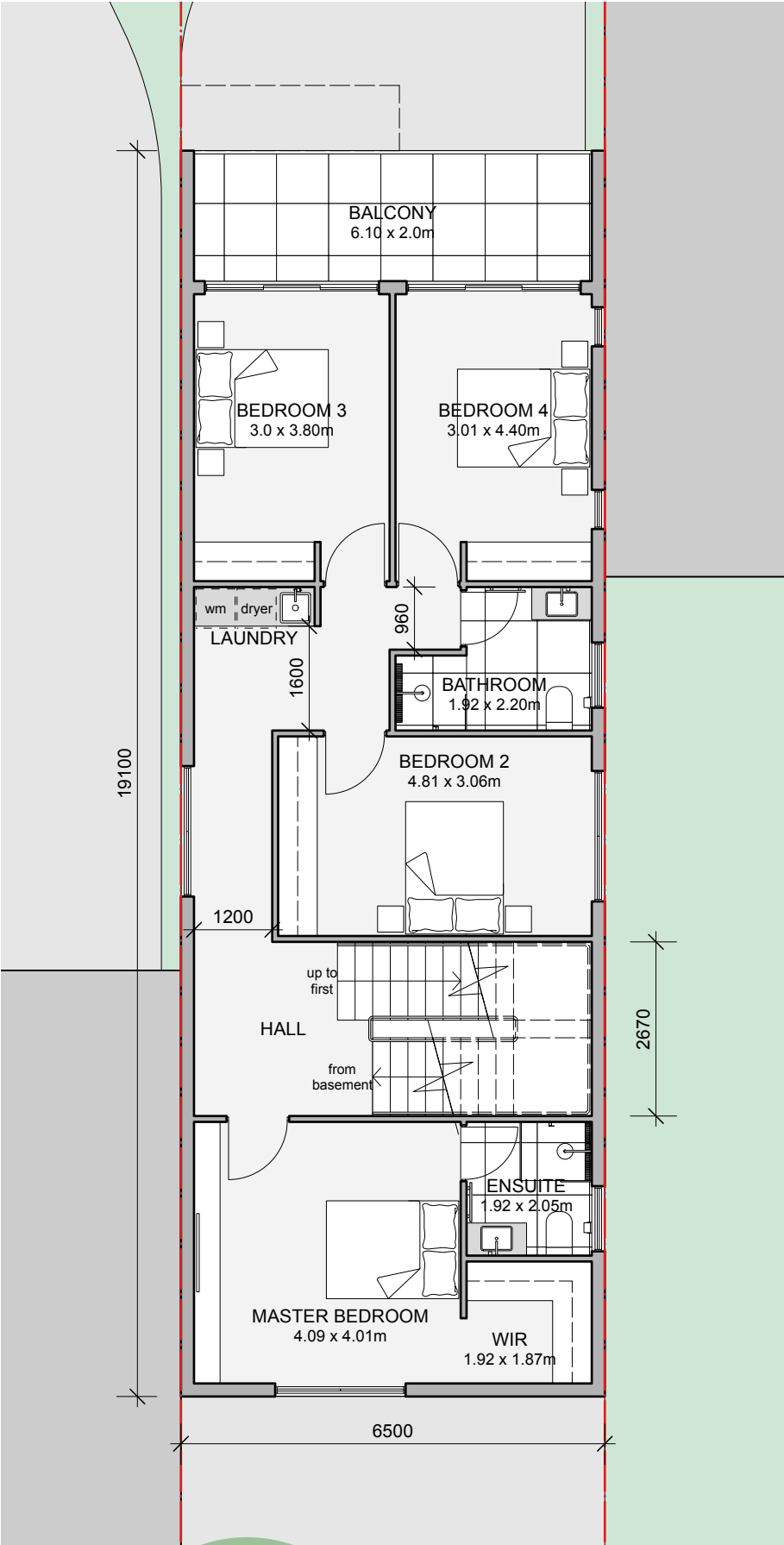
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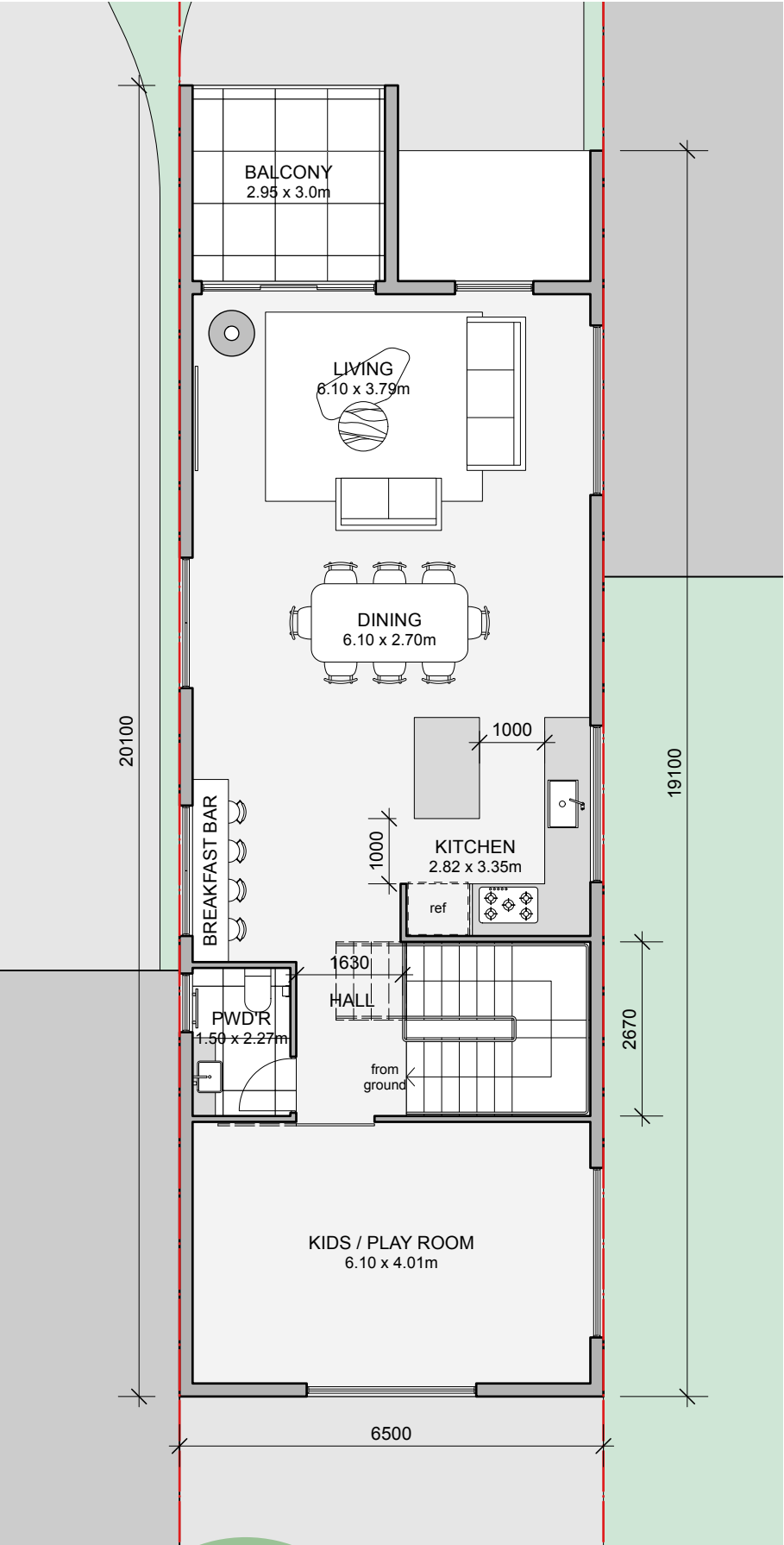
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BASEMENT



GROUND FLOOR



FIRST FLOOR

PROPOSED MULTI-UNIT DWELLING
(TERRACE HOMES) FLOOR PLANS
1.100

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

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Talbingo NSW

DATE

22 MAR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED MULTI-UNIT DWELLING
(TERRACE HOMES) FLOOR PLANS

DRAWING NUMBER

PL 15

SCALE

1.100

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PROPOSED SHOP TOP HOUSING
TYPICAL ELEVATION
1.200

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

22 MAR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED SHOP TOP HOUSING
TYPICAL ELEVATION

DRAWING NUMBER

PL 16

SCALE

1.200

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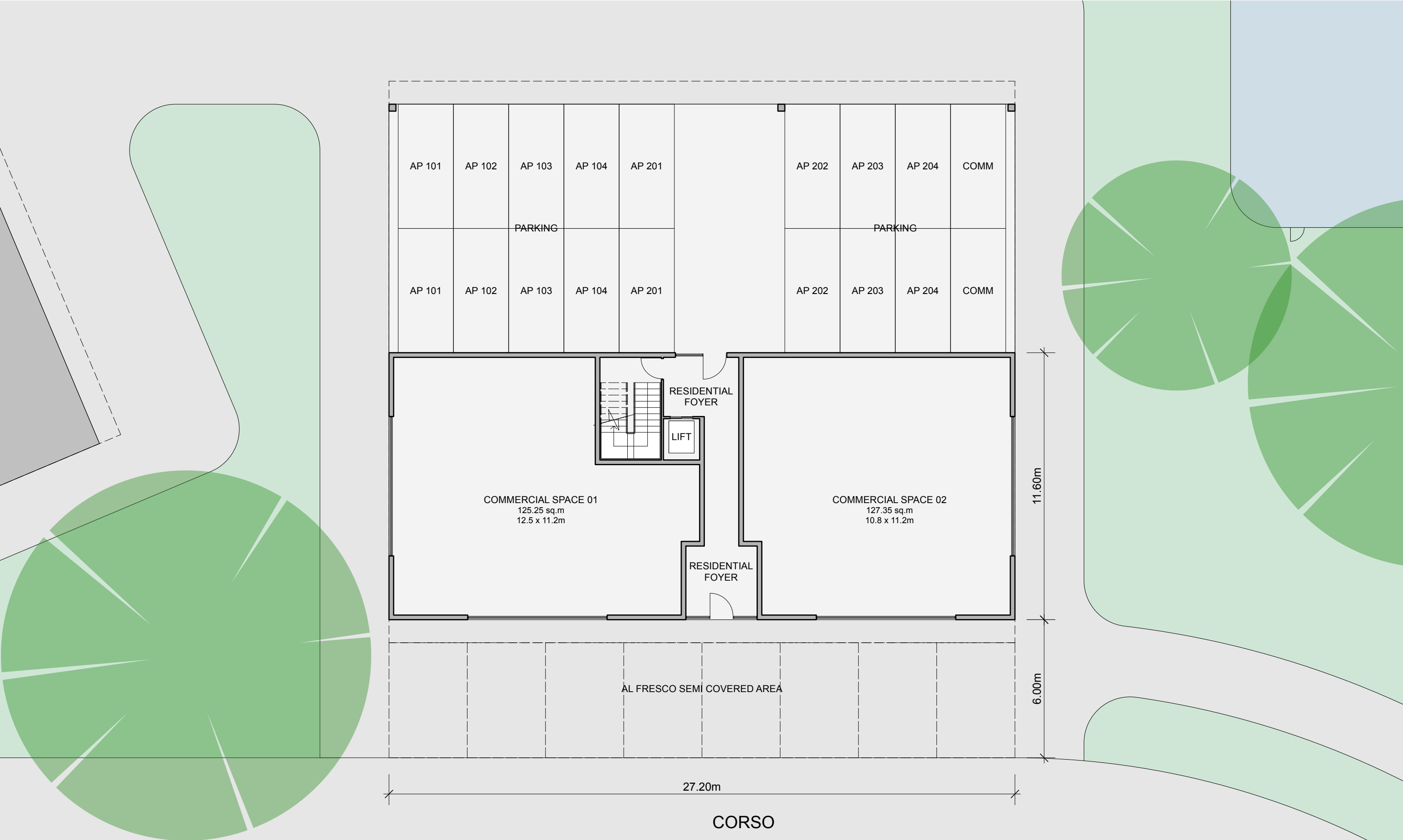
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PROPOSED SHOP TOP HOUSING
TYPICAL GROUND FLOOR PLAN
1.150

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

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DATE

22 MAR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED SHOP TOP HOUSING
TYPICAL GROUND FLOOR PLAN

DRAWING NUMBER

PL 17

SCALE

1.150

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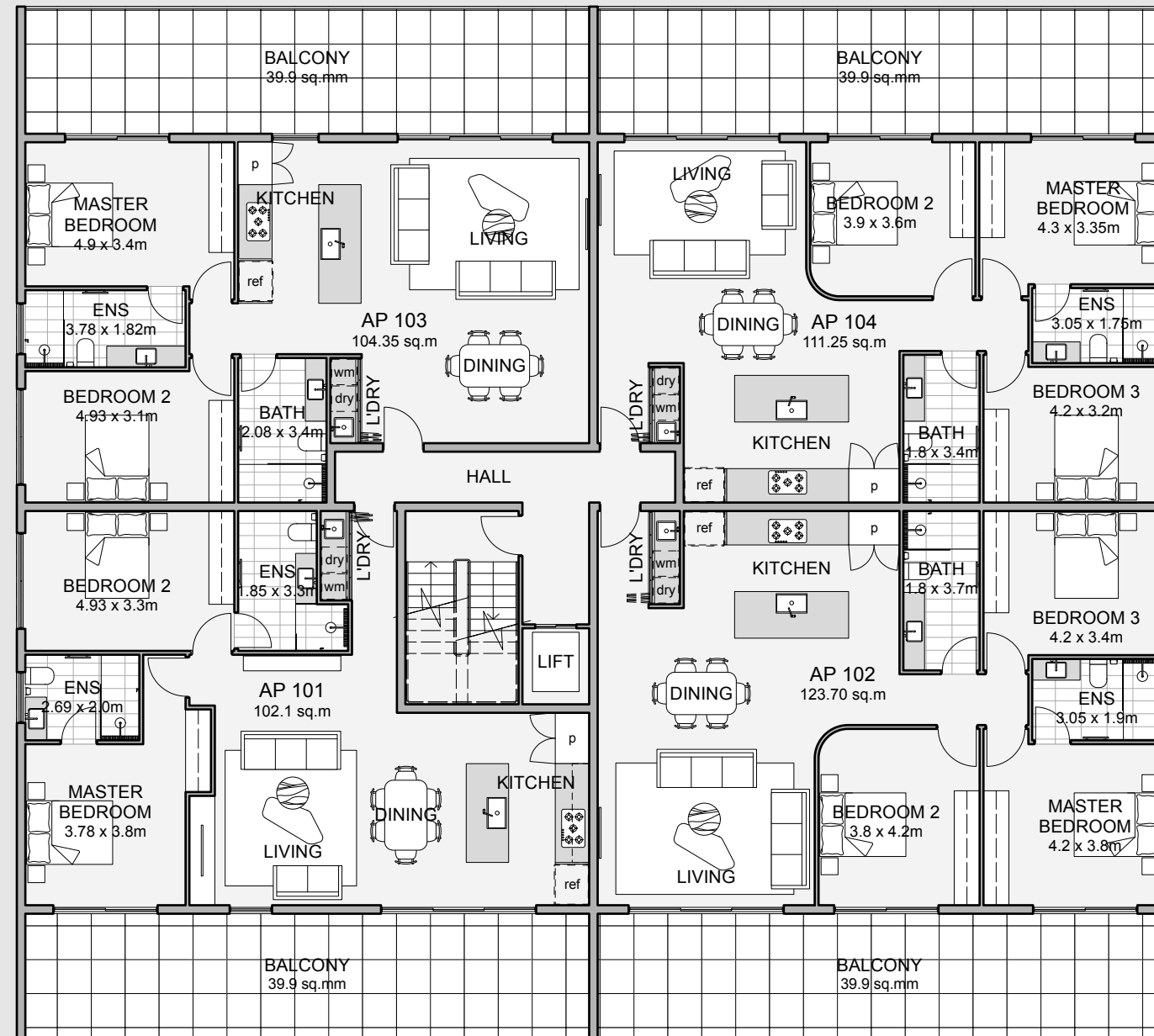
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CORSO

PROPOSED SHOP TOP HOUSING
TYPICAL FIRST FLOOR PLAN
1.150

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

**LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW**

DATE

22 MAR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

**PROPOSED SHOP TOP HOUSING
TYPICAL FIRST FLOOR PLAN**

DRAWING NUMBER

PL 18

SCALE

1.150

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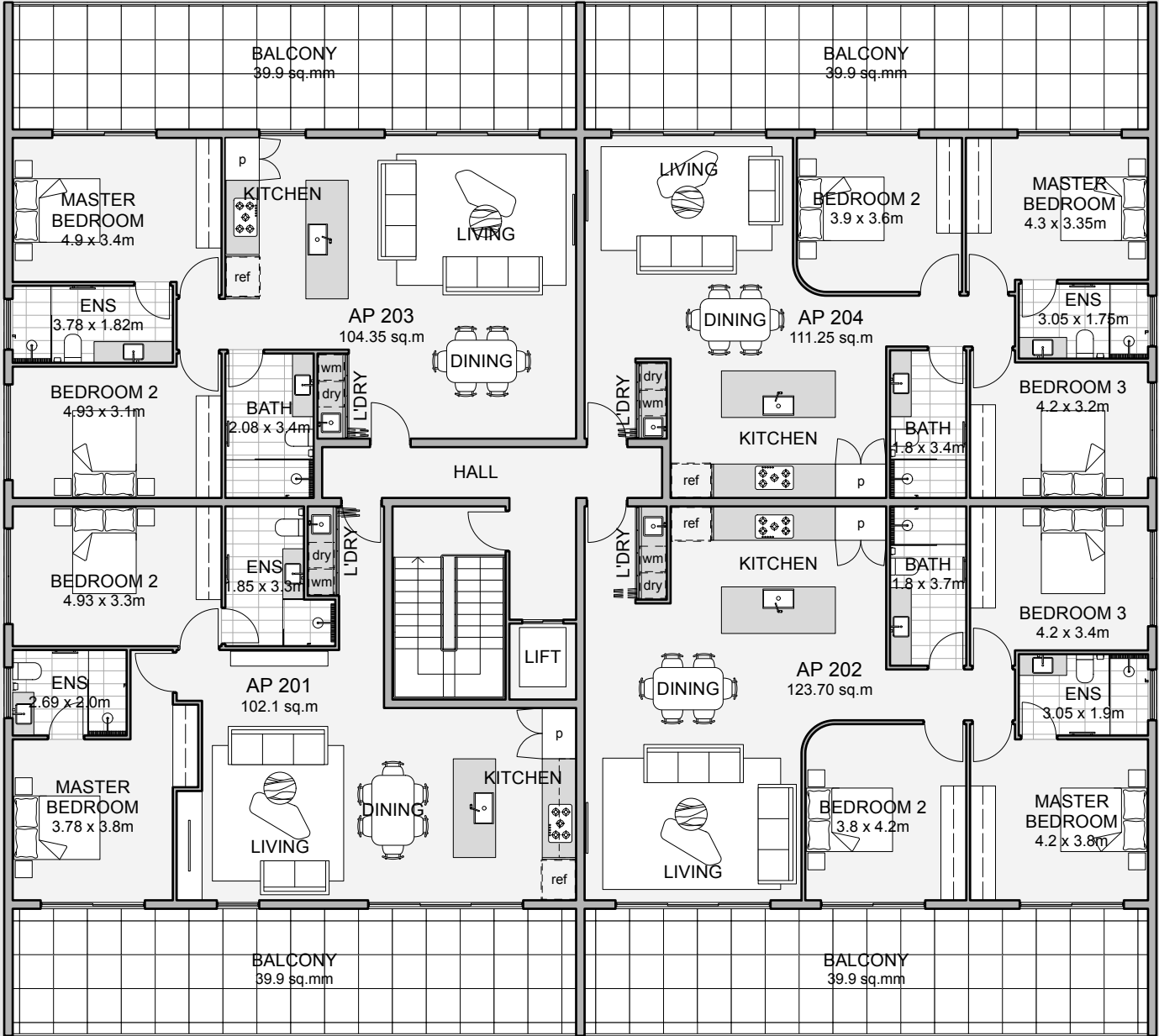
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CORSO

PROPOSED SHOP TOP HOUSING
TYPICAL SECOND FLOOR PLAN
1.150

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

22 MAR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED SHOP TOP HOUSING
TYPICAL SECOND FLOOR PLAN

DRAWING NUMBER

PL 19

SCALE

1.150

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SITE RESPONSE

ORIENTATION AND SOLAR ACCESS

- Where possible, dwellings should be sited so that living areas and private open spaces face north in order to maximise solar efficiency.
- Only one dwelling is permitted per lot.
- Dual occupancy and further subdivision not allowed.

BUILDING SETBACKS

- Building envelopes have been prepared for each lot and can be found on the Plan of Subdivision. These envelopes specify the area where a building can be sited on the lot, indicating setback requirements and permitted encroachments.

The following setbacks will generally be required:

(DWELLINGS OVER 350 s.qm)

- Front boundary: Dwelling must be setback at least 8.0m. Porches, verandahs and pergolas not exceeding 3.6m in height may encroach into the 8.0m setback.
- Corner boundary: Dwelling must be setback at least 2.0m.
- Rear boundary: Dwelling must be setback at least 4.0m. Eaves, fascia and gutter may encroach into front, side and rear setbacks.

(DWELLINGS UNDER 350 s.qm)

- Front boundary: Dwelling must be setback at least 4.0m. Porches, verandahs and pergolas not exceeding 3.6m in height may encroach into the 4.0m setback.
- Corner boundary: Dwelling must be setback at least 2.0m.
- Rear boundary: Dwelling must be setback at least 2.0m. Eaves, fascia and gutter may encroach into front, side and rear setbacks.

ARCHITECTURAL CHARACTER

FACADE DESIGN

- The design should reflect the architectural character of the surrounding existing Talbingo township.
- Front elevations must incorporate windows and other features (such as verandahs, projections, varying roof form and materials) to sufficiently address the street.
- Façade designs must generally reflect a contemporary theme. Overly traditional façades will not be permitted.



ROOF DESIGN

- Only flat roofs OR mono pitched roofs or are permitted.
- Roofs must be constructed from non-reflective corrugated Colorbond or roof tiles in a flat/slim line profile.



PROPOSED SINGLE DWELLING DESIGN GUIDELINES

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

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Talbingo NSW

DATE

22 MAR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED SINGLE DWELLING
DESIGN GUIDELINES

DRAWING NUMBER

PL 19

SCALE

NOT TO SCALE

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EXTERNAL MATERIALS AND COLOURS

External walls should be constructed from the following materials in colours that reflect **cool natural neutral tones**:

- Face brickwork:
 - Stack bond only;
 - Linear Bricks (eg. non standard sizing).
- Weatherboards/cement composite materials (such as Scyon cladding);
- Timber cladding;
- Selective use of stone, tile or corrugated Colorbond cladding.

Other materials not permitted:

- Masonry - eg. concrete blocks;
- Brick - eg. traditional red.

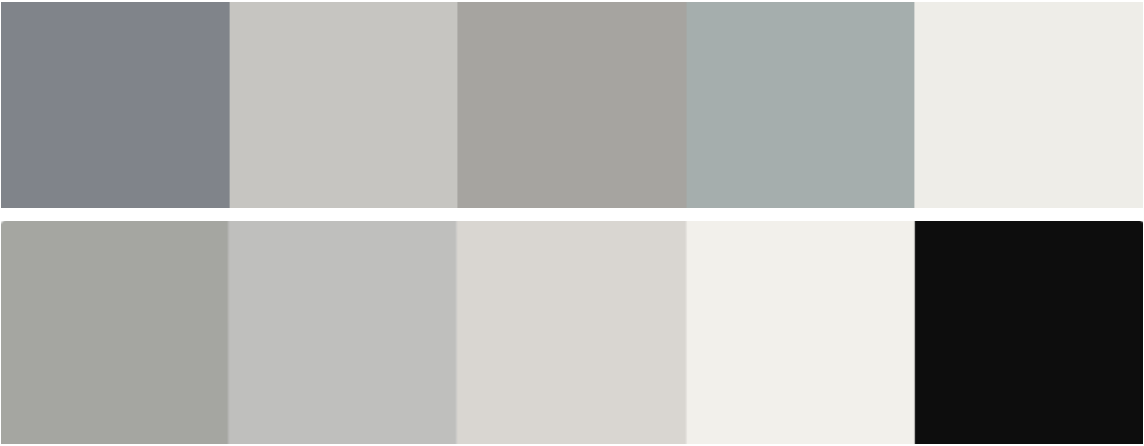
Retaining walls:

- Timber or stone permitted - eg. no concrete blocks.

Fences:

- The use of fences is not recommended. Only use post fencing 200mm apart permitted only when required.

An external palette which adopts natural, neutral colours is required.
Reliance on external colours which are bright or draw visual attention to the building (as a result of its contrast to the surrounding environment) shall not be supported.



PROPOSED SINGLE DWELLING
DESIGN GUIDELINES

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DRIVEWAYS

Driveways shall be constructed from natural or coloured concrete as a minimum standard. Pavers or exposed aggregate are encouraged.

Impermeable surfaces (e.g.compacted toppings, crushed rock,) and brick pavers are not permitted.

Driveways must taper to generally match the crossover width and must be setback at least 300mm from the closest side boundary to allow for a landscaping strip.

Driveways must be constructed prior to occupancy.



LANDSCAPING

As a result of the previous land use, the development site is mostly cleared and the existing vegetation is predominantly grasses with scattered remnant native trees.

The aim of the development is bring back the original features of the landscape which is reflected in the surrounding areas and national parks. Therefore, all landscape proposed to be native species with 50% indigenous planting.



PROPOSED SINGLE DWELLING
DESIGN GUIDELINES

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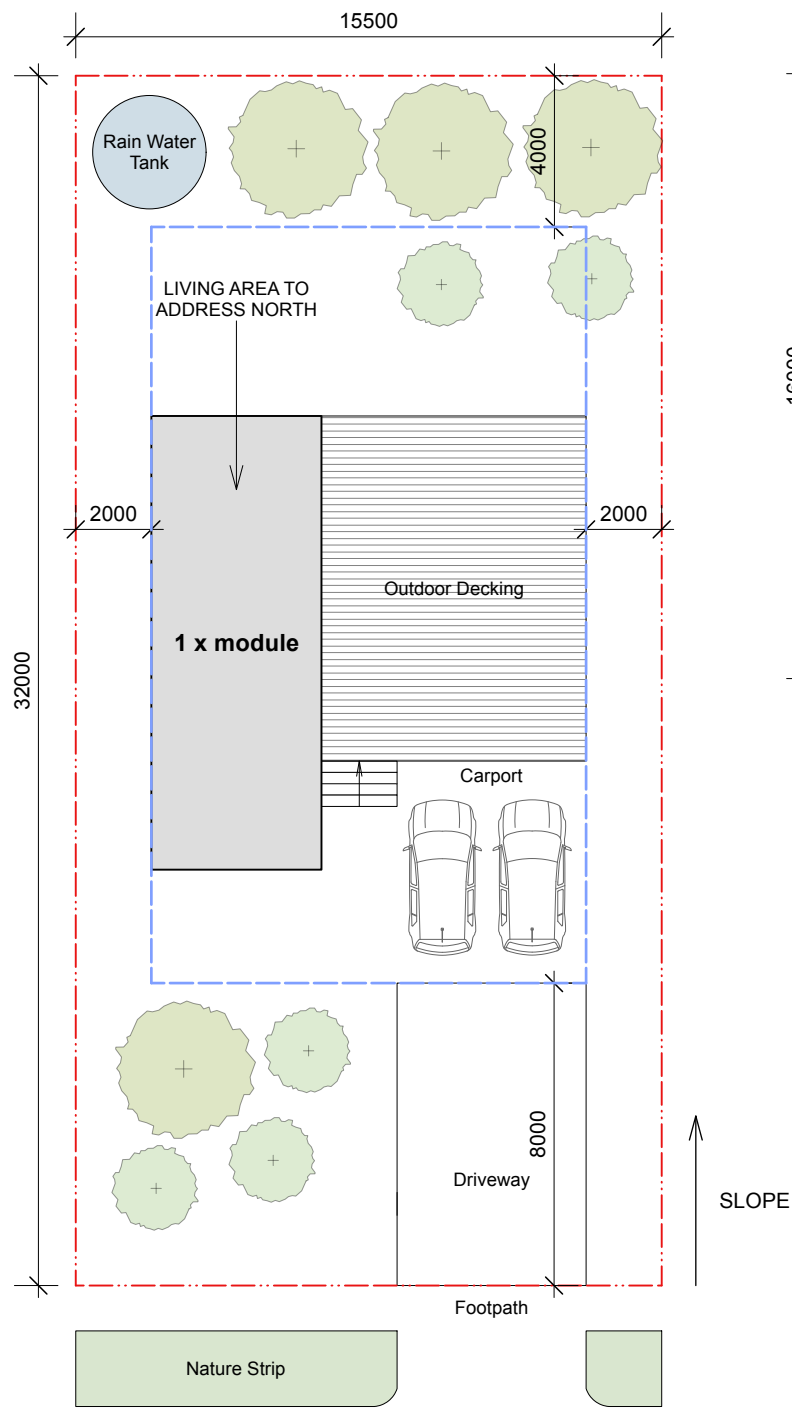
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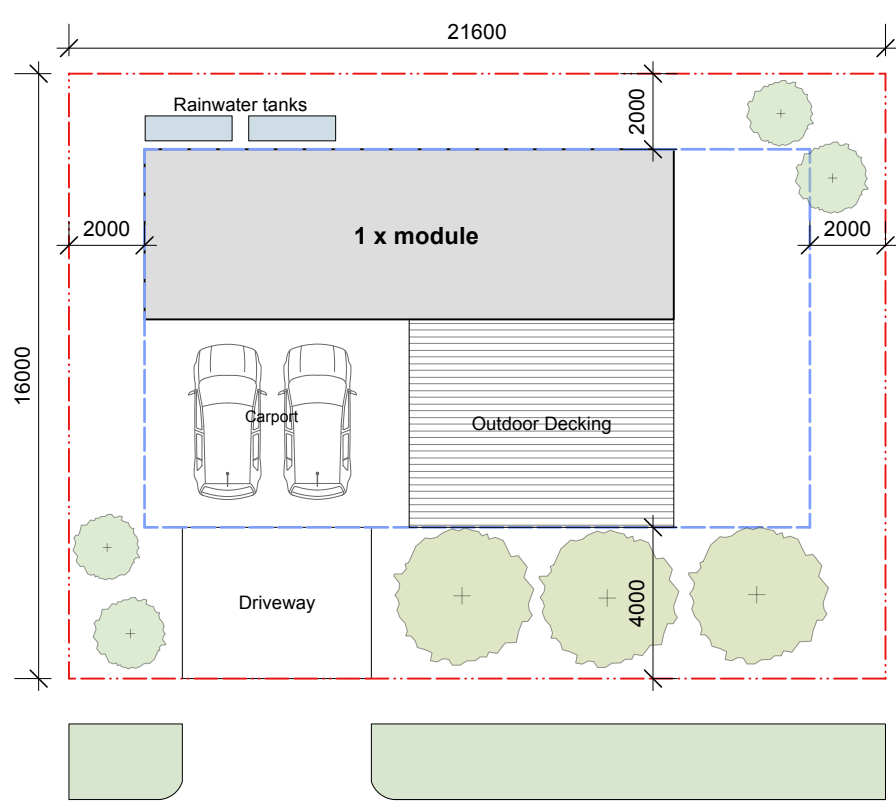
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LOT SIZE 500 sqm



FOR LARGER SIZED LOTS
MAX. BUILDING HEIGHT 8.5m
MIN. FRONT SETBACK 8.0m
MIN. REAR SETBACK 4.0m
MIN. SIDE SETBACK 2.0m
CEILING HEIGHT MIN. 2.7m

LOT SIZE 350 sqm

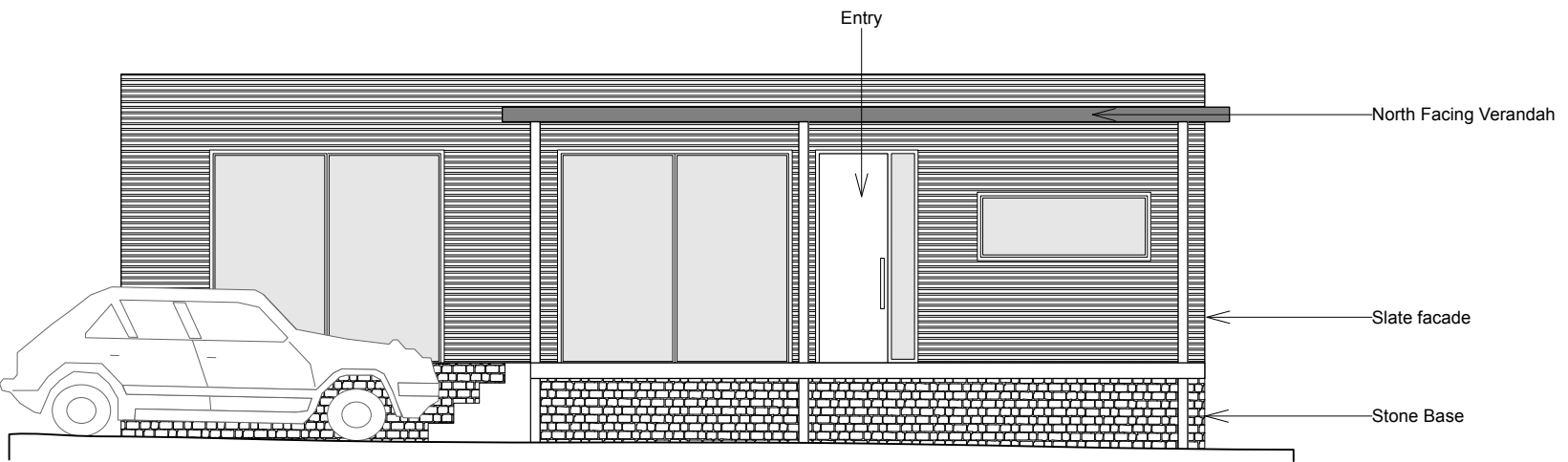
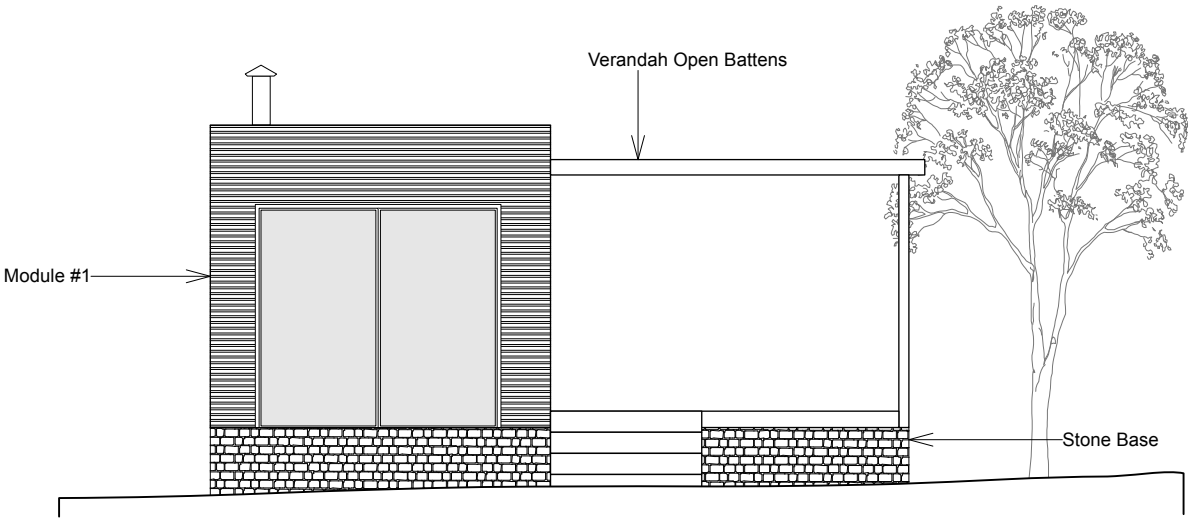


FOR SMALL SIZED LOTS
MAX. BUILDING HEIGHT 8.5m
MIN. FRONT SETBACK 4.0m
MIN. REAR SETBACK 2.0m
MIN. SIDE SETBACK 2.0m
CEILING HEIGHT MIN. 2.7m

FLOOR PLANS
1.200



1 - 2 MODULE REFERENCE



ELEVATIONS
1.100

PROPOSED SINGLE DWELLING
DESIGN GUIDELINES SMALL MODULE

ROBERT HARWOOD ARCHITECTS

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DESIGN GUIDELINES SMALL MODULE

DRAWING NUMBER

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SCALE

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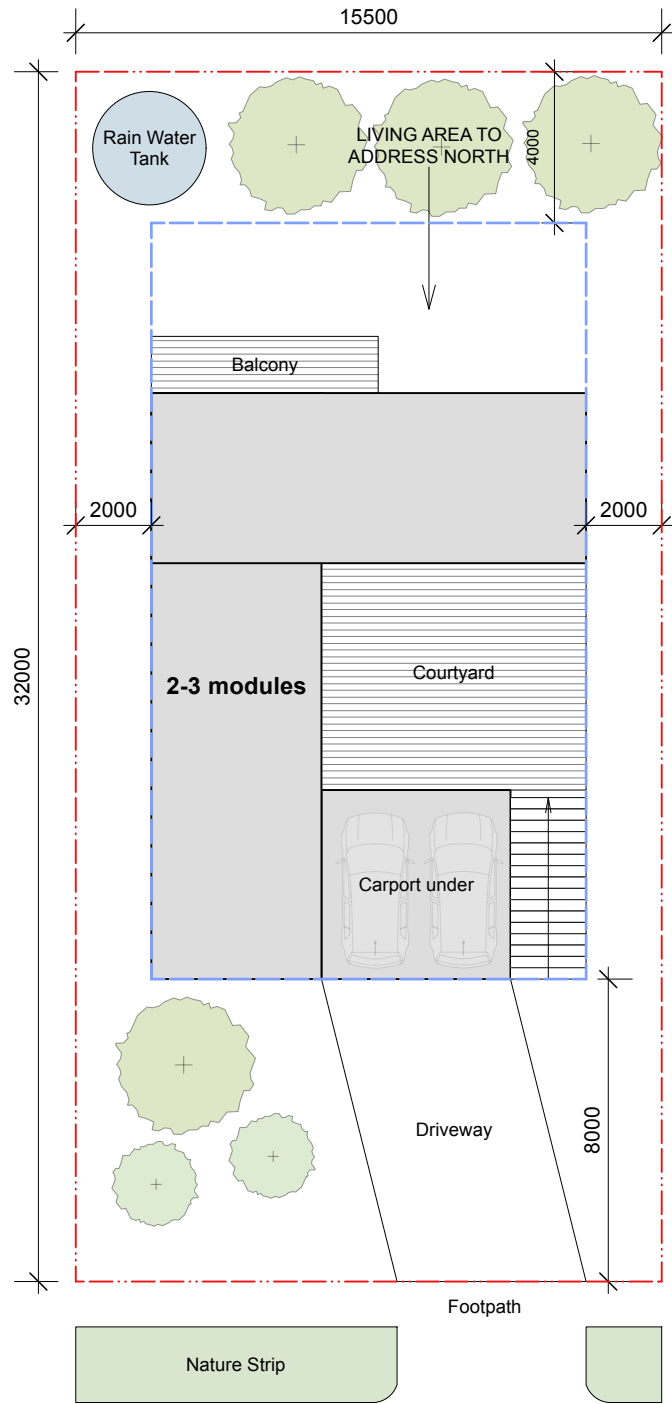
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ARCHITECT:
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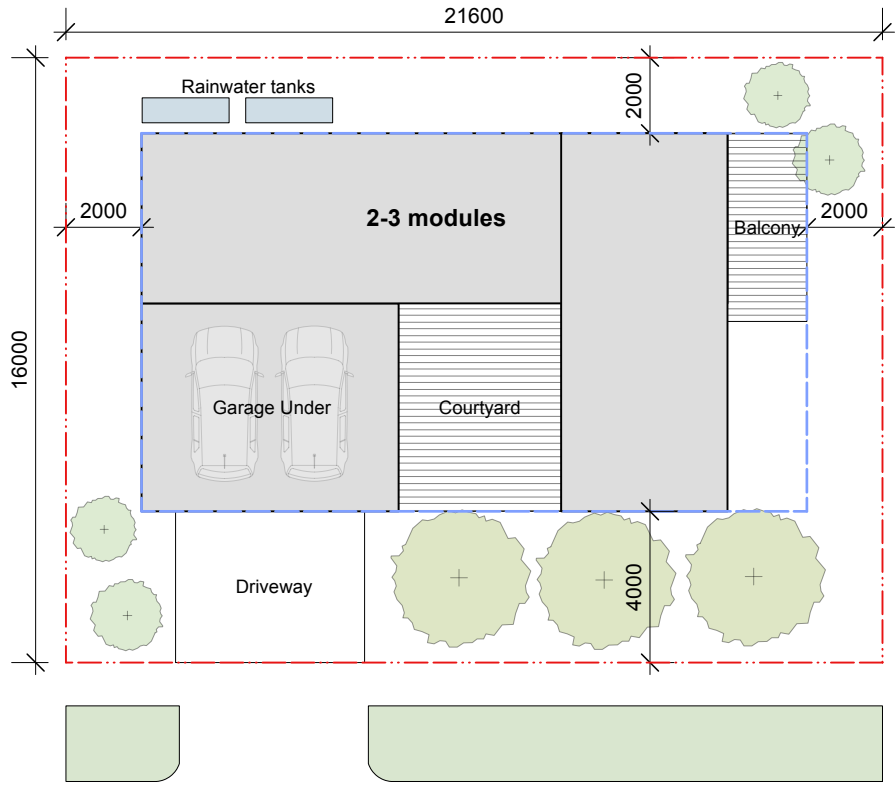
ABN 96 630 851 930

LOT SIZE 500 sqm



FOR LARGER SIZED LOTS
MAX. BUILDING HEIGHT 8.5m
MIN. FRONT SETBACK 8.0m
MIN. REAR SETBACK 4.0m
MIN. SIDE SETBACK 2.0m
CEILING HEIGHT MIN. 2.7m

LOT SIZE 350 sqm



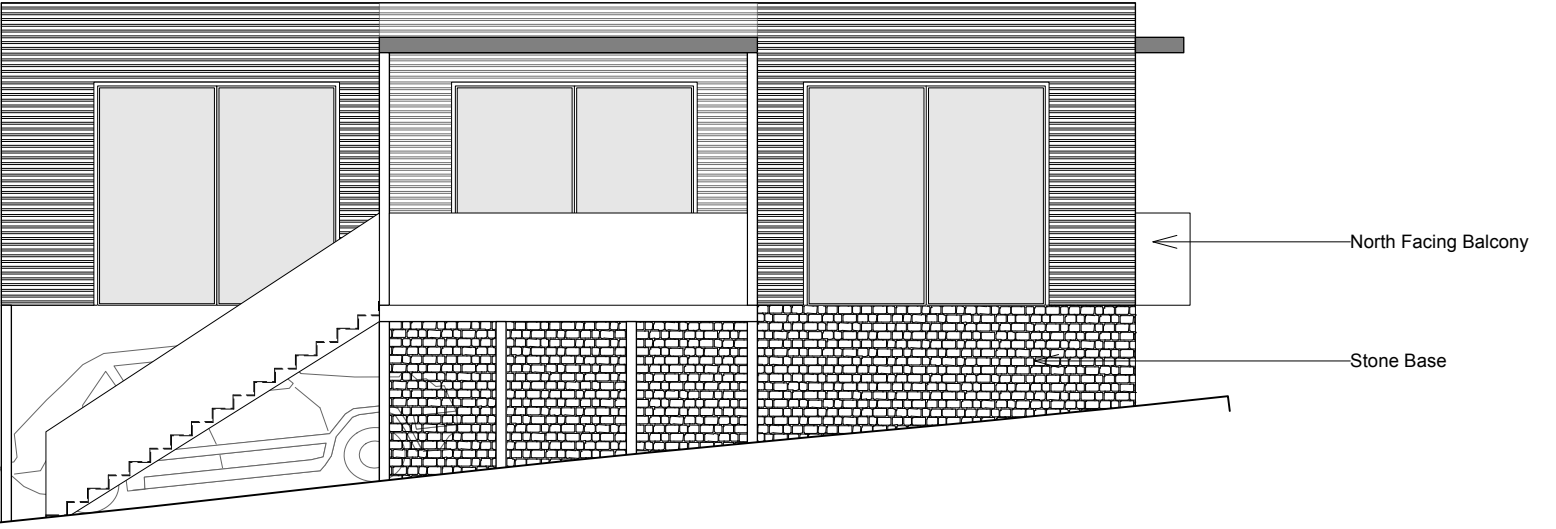
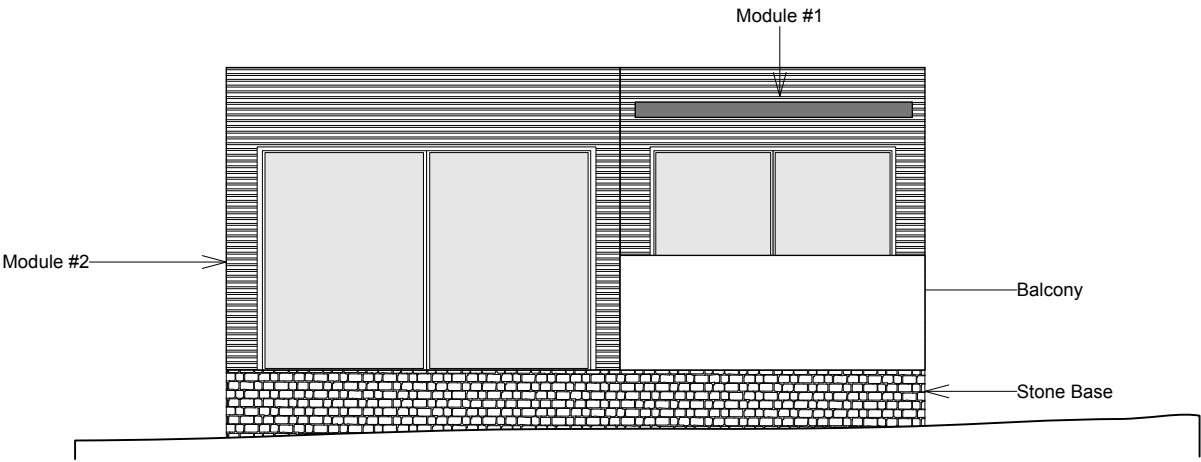
FOR SMALL SIZED LOTS
MAX. BUILDING HEIGHT 8.5m
MIN. FRONT SETBACK 4.0m
MIN. REAR SETBACK 2.0m
MIN. SIDE SETBACK 2.0m
CEILING HEIGHT MIN. 2.7m



FLOOR PLANS
1.200



2 - 3 MODULE REFERENCE



ELEVATIONS
1.100

PROPOSED SINGLE DWELLING
DESIGN GUIDELINES MEDIUM MODULE

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

22 MAR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED SINGLE DWELLING
DESIGN GUIDELINES MEDIUM MODULE

DRAWING NUMBER

PL 19

SCALE

1.200

SERVICES PROVIDED BY

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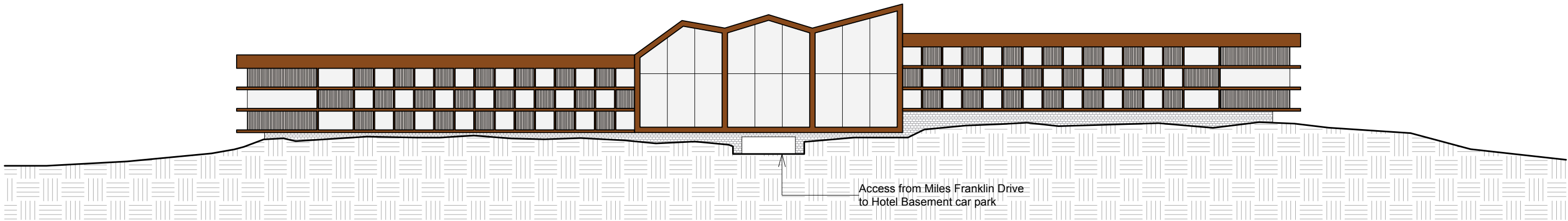
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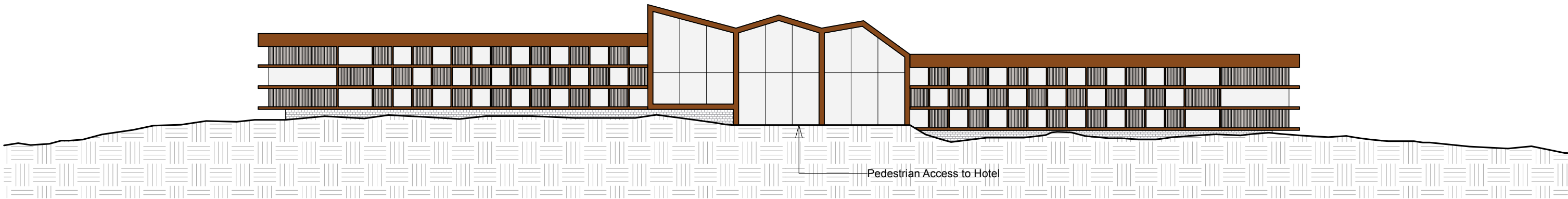
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NORTH ELEVATION (FRONT)



SOUTH ELEVATION (REAR)

PROPOSED HOTEL ELEVATIONS
1.750

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PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

22 MAR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED HOTEL ELEVATION

DRAWING NUMBER

PL 23

SCALE

1.750

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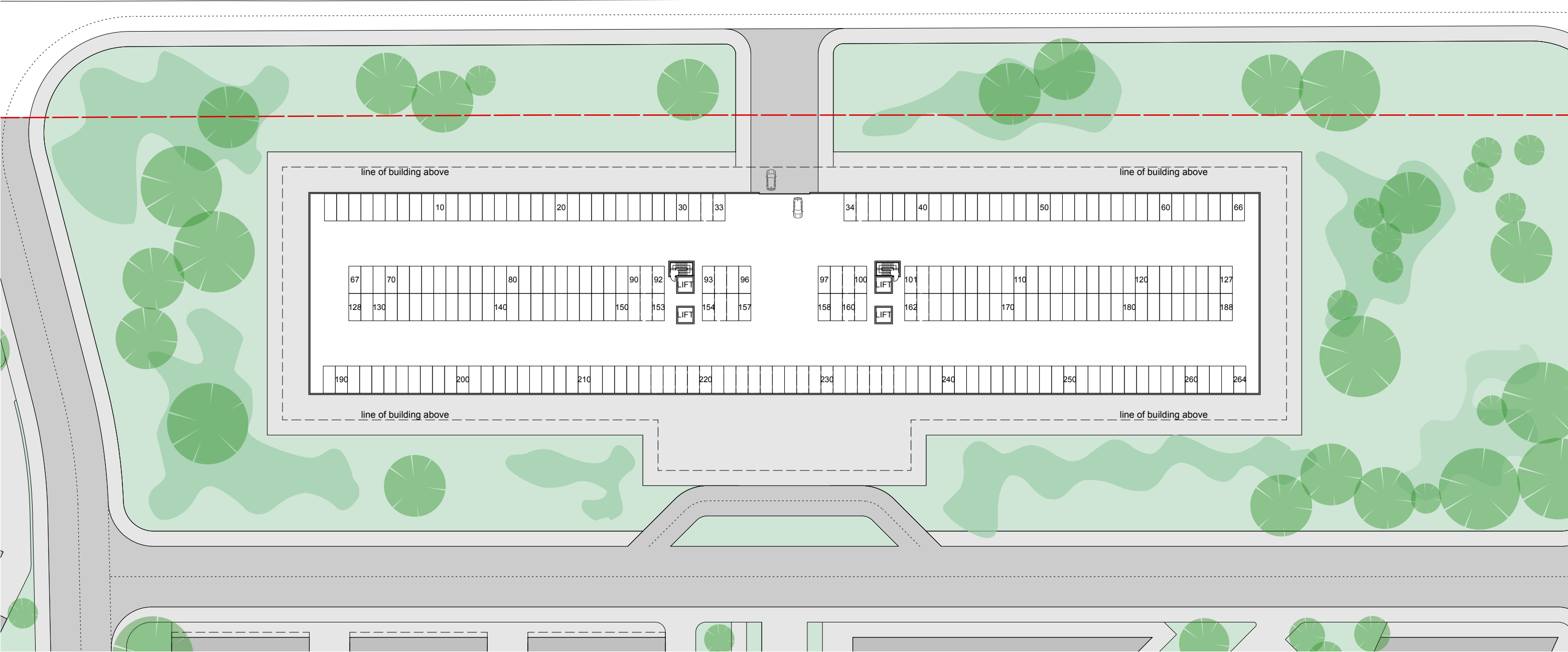
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Miles Franklin Drive

Miles Franklin Drive



PROPOSED HOTEL GARAGE FLOOR PLAN
1.750

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PROJECT AND LOCATION
LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE
22 MAR 23

DRAWING STAGE
MASTERPLAN CONCEPT DRAWINGS
DRAWING DESCRIPTION
PROPOSED HOTEL GARAGE
FLOOR PLAN

DRAWING NUMBER
PL 24
SCALE
1.750

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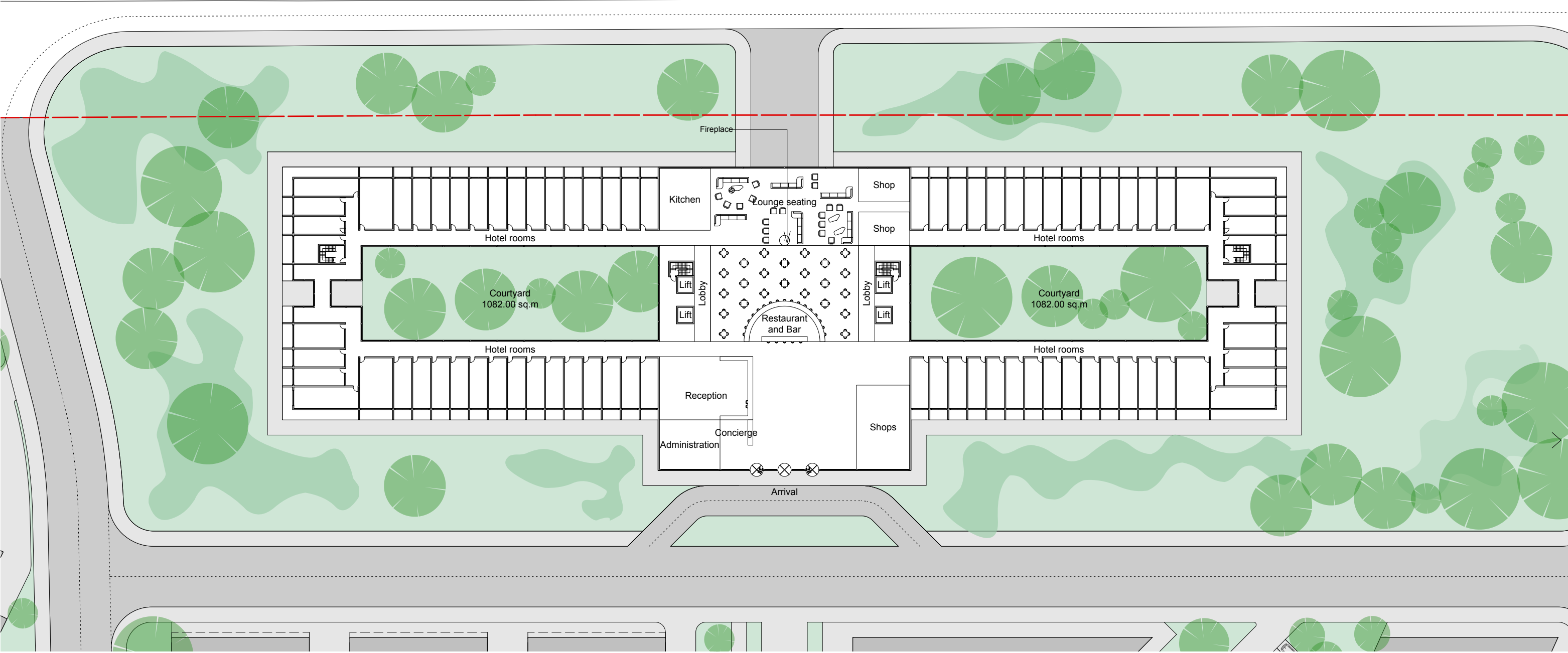
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UK 072397E

ABN 96 630 851 930

Miles Franklin Drive

Miles Franklin Drive



PROPOSED HOTEL GROUND FLOOR PLAN
1.750

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PROJECT AND LOCATION
LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE
22 MAR 23

DRAWING STAGE
MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION
PROPOSED HOTEL GROUND
FLOOR PLAN

DRAWING NUMBER
PL 25

SCALE
1.750

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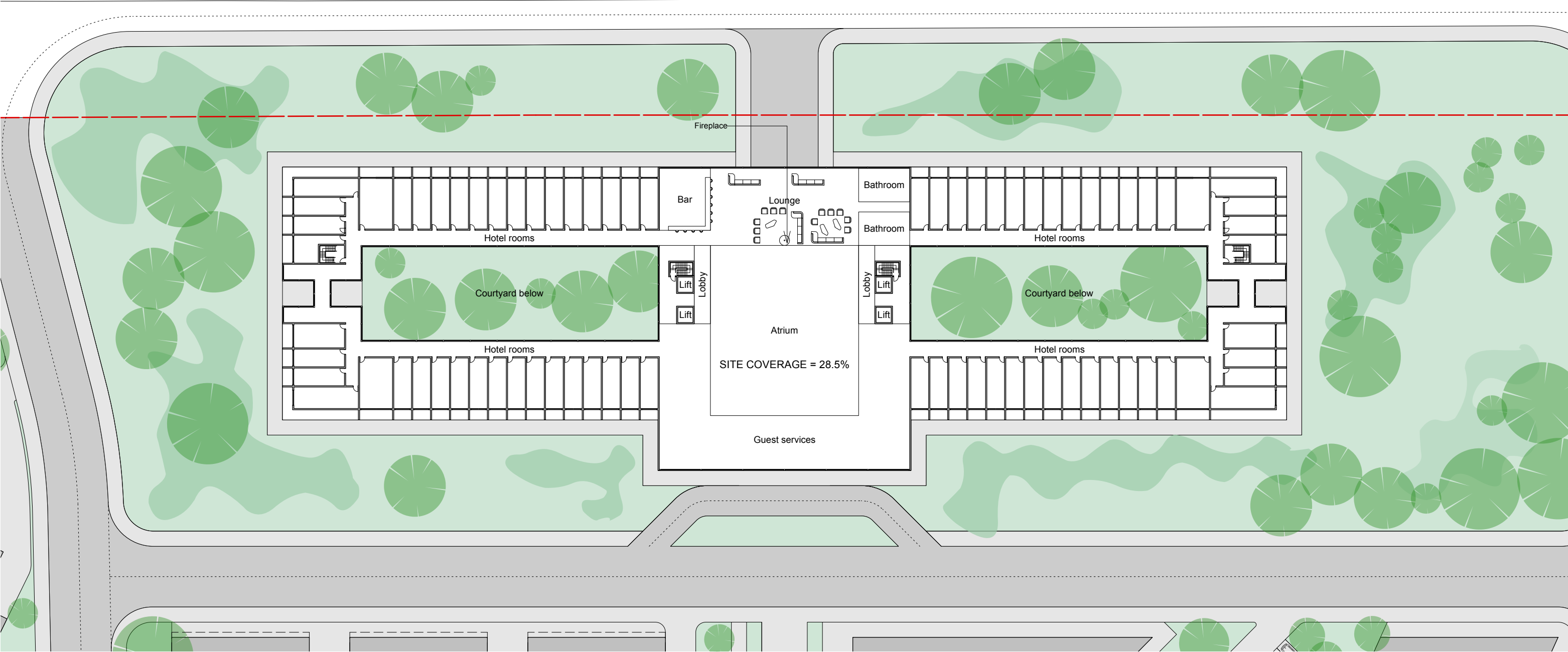
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UK 072397E

ABN 96 630 851 930

Miles Franklin Drive

Miles Franklin Drive



PROPOSED HOTEL FIRST AND SECOND
FLOOR PLANS
1.750

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

22 MAR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED HOTEL FIRST AND SECOND
FLOOR PLANS

DRAWING NUMBER

PL 26

SCALE

1.750

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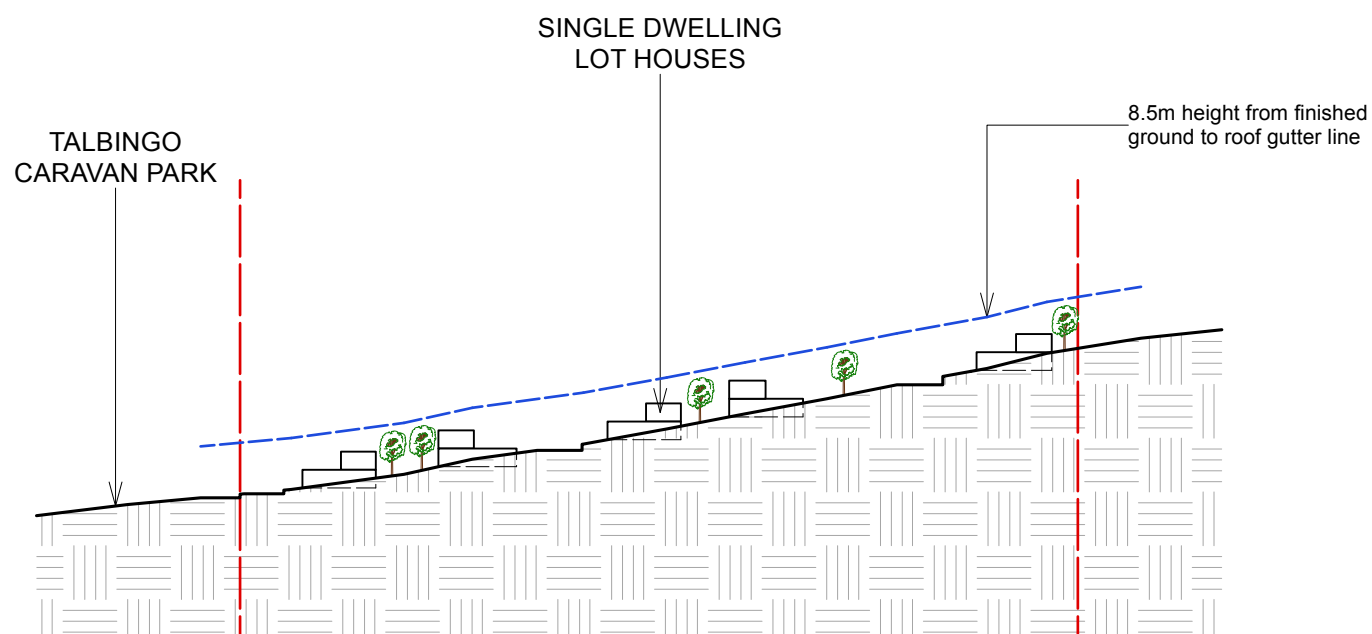
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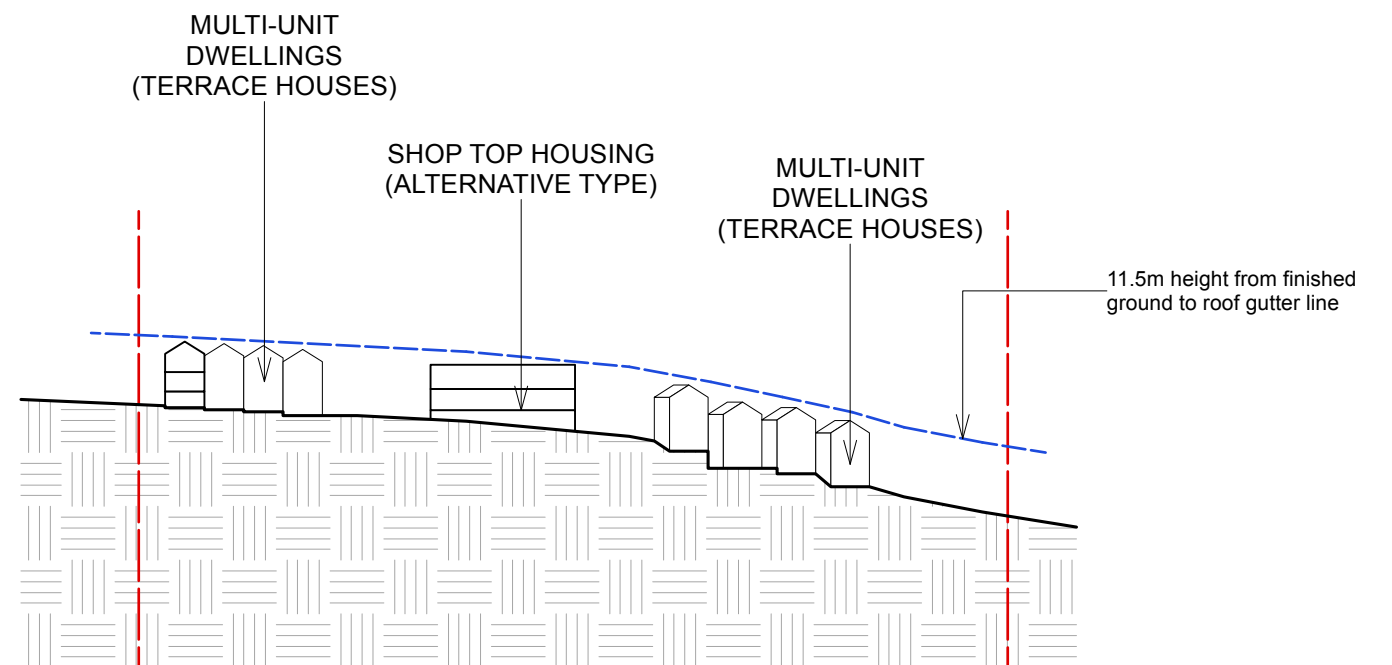
ABN 96 630 851 930



SECTION S1



SECTION S2



SECTION S3

PROPOSED SITE SECTIONS
1.2500

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PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

22 MAR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED SITE SECTIONS

DRAWING NUMBER

PL 27

SCALE

1.750

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PROPOSED SHADOW DIAGRAMS
21 DECEMBER AT 9AM
1.2500

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION
LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE
22 MAR 23

DRAWING STAGE
MASTERPLAN CONCEPT DRAWINGS
DRAWING DESCRIPTION
PROPOSED SHADOW DIAGRAMS
21 DECEMBER AT 9AM

DRAWING NUMBER
SH 01
SCALE
1.2500

SERVICES PROVIDED BY
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PROPOSED SHADOW DIAGRAMS
21 DECEMBER AT 12PM
1.2500

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION
LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE
22 MAR 23

DRAWING STAGE
MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION
PROPOSED SHADOW DIAGRAMS
21 DECEMBER AT 12PM

DRAWING NUMBER
SH 02

SCALE
1.2500

SERVICES PROVIDED BY
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PROPOSED SHADOW DIAGRAMS
21 DECEMBER AT 3PM
1.2500

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION
LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE
22 MAR 23

DRAWING STAGE
MASTERPLAN CONCEPT DRAWINGS
DRAWING DESCRIPTION
PROPOSED SHADOW DIAGRAMS
21 DECEMBER AT 3PM

DRAWING NUMBER
SH 03
SCALE
1.2500

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PROPOSED SHADOW DIAGRAMS
21 JUNE AT 9AM
1.2500

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION
LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE
22 MAR 23

DRAWING STAGE
MASTERPLAN CONCEPT DRAWINGS
DRAWING DESCRIPTION
PROPOSED SHADOW DIAGRAMS
21 JUNE AT 9AM

DRAWING NUMBER
SH 04
SCALE
1.2500

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PROPOSED SHADOW DIAGRAMS
21 JUNE AT 12PM
1.2500

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

22 MAR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED SHADOW DIAGRAMS
21 JUNE AT 12PM

DRAWING NUMBER

SH 05

SCALE

1.2500

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PROPOSED SHADOW DIAGRAMS
21 JUNE AT 3PM
1.2500

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PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

22 MAR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED SHADOW DIAGRAMS
21 JUNE AT 3PM

DRAWING NUMBER

SH 06

SCALE

1.2500

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VIEW OF SHOPTOP HOUSING

ARCHITECTURAL DRAWINGS FOR WEST TALBINGO VILLAGE MASTERPLAN CONCEPT

LOT 35 DP 878862 MILES FRANKLIN DRIVE TALBINGO NSW

At West Talbingo Village, we've developed a masterplan for urban living that blends convenient amenity with beautiful native habitat.

Talbingo West has been designed to be sensitive to the architectural style of the existing Talbingo township. This community focused project to be established over time aims to create a positive context for the future, bringing amenity and economic benefit to the local area.

The low density, medium and mixed-use precincts offer residents a place to live comfortably - with everything they need in close proximity.

The township design merges into the fabric of the existing street layout, reconnecting precincts of the town and providing a greater amenity for the community.

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

COVER PAGE

DRAWING NUMBER

CP

SCALE

NTS

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DRAWING SCHEDULE

ARCHITECTURAL DRAWINGS

CP	COVER PAGE	-	PL 25	PROPOSED SINGLE DWELLING DESIGN GUIDELINES	-
DS	DRAWING SCHEDULE	-	PL 26	PROPOSED SINGLE DWELLING DESIGN GUIDELINES	-
IMG 01	PROPOSED IMAGE 01	-	PL 27	PROPOSED SINGLE DWELLING DESIGN GUIDELINES	-
IMG 02	PROPOSED IMAGE 02	-	PL 28	PROPOSED SINGLE DWELLING DESIGN GUIDELINES	1.200
IMG 03	PROPOSED IMAGE 03	-		SMALL MODULE OPTION (1 MODULE)	
IMG 04	PROPOSED IMAGE 04	-	PL 29	PROPOSED SINGLE DWELLING DESIGN GUIDELINES	1.200
PL 01	SITE ANALYSIS PLAN	-		MEDIUM MODULE OPTION (2 - 3 MODULES)	
PL 02	PROPOSED LOT DEVELOPMENT PLAN	1.2500	PL 30	PROPOSED SINGLE DWELLING DESIGN GUIDELINES	1.200
PL 03	PROPOSED MASTERPLAN CONCEPT SITE PLAN	1.2500		MEDIUM MODULE OPTION (3 - 4 MODULES)	
PL 04	PROPOSED MASTERPLAN CONCEPT LAND USE AND ZONE PLAN	1.2500	PL 31	PROPOSED SINGLE DWELLING DESIGN GUIDELINES	1.200
PL 05	PROPOSED MASTERPLAN CONCEPT LOT AREAS PLAN	1.2500		MEDIUM MODULE OPTION (4 - 5 MODULES)	
PL 06	PROPOSED MASTERPLAN CONCEPT FSR AND HEIGHT LIMITS PLAN	1.2500	PL 32	PROPOSED HOTEL	-
PL 07	PROPOSED MASTERPLAN CONCEPT VEHICLE ACCESS PLAN	1.2500	PL 33	PROPOSED HOTEL IMAGE 01	-
PL 08	PROPOSED MASTERPLAN CONCEPT PEDESTRIAN ACCESS	1.2500	PL 34	PROPOSED HOTEL IMAGE 02	-
	AND BICYCLE PATH PLAN		PL 35	PROPOSED HOTEL IMAGE 03	-
PL 09	PROPOSED MASTERPLAN CONCEPT LANDSCAPE PLAN	1.2500	PL 36	PROPOSED HOTEL ELEVATION	1.750
PL 10	AREAS SCHEDULE SHOPTOP HOUSING AND HOTEL	-	PL 37	PROPOSED HOTEL GARAGE BASEMENT FLOOR PLAN	1.750
PL 11	AREAS SCHEDULE TOWNHOUSES	-	PL 38	PROPOSED HOTEL GROUND FLOOR PLAN	1.750
PL 12	PROPOSED SHOPTOP HOUSING	-	PL 39	PROPOSED HOTEL FIRST AND SECOND FLOOR PLANS	1.750
PL 13	PROPOSED SHOPTOP HOUSING APARTMENT DESIGN GUIDE	-	PL 40	PROPOSED SITE SECTIONS	1.2500
PL 14	PROPOSED SHOPTOP HOUSING APARTMENT DESIGN GUIDE	-	SH 01	PROPOSED SHADOW DIAGRAMS 21 DECEMBER AT 9AM	1.2500
PL 15	PROPOSED SHOPTOP HOUSING APARTMENT DESIGN GUIDE	-	SH 02	PROPOSED SHADOW DIAGRAMS 21 DECEMBER AT 12PM	1.2500
PL 16	PROPOSED SHOPTOP HOUSING APARTMENT DESIGN GUIDE	-	SH 03	PROPOSED SHADOW DIAGRAMS 21 DECEMBER AT 3PM	1.2500
PL 17	PROPOSED SHOPTOP HOUSING TYPICAL ELEVATIONS	1.200	SH 04	PROPOSED SHADOW DIAGRAMS 21 JUNE AT 9AM	1.2500
PL 18	PROPOSED SHOPTOP HOUSING TYPICAL GROUND FLOOR PLAN	1.150	SH 05	PROPOSED SHADOW DIAGRAMS 21 JUNE AT 12PM	1.2500
PL 19	PROPOSED SHOPTOP HOUSING TYPICAL FIRST FLOOR PLAN	1.150	SH 06	PROPOSED SHADOW DIAGRAMS 21 JUNE AT 3PM	1.2500
PL 20	PROPOSED SHOPTOP HOUSING TYPICAL SECOND FLOOR PLAN	1.150			
PL 21	PROPOSED MULTI-UNIT DWELLING (TOWNHOUSES)	-			
PL 22	PROPOSED MULTI-UNIT DWELLING (TOWNHOUSES) ELEVATIONS	1.200			
PL 23	PROPOSED MULTI-UNIT DWELLING (TOWNHOUSES) FLOOR PLANS	1.200			
PL 24	PROPOSED MULTI-UNIT DWELLING (TOWNHOUSES) FLOOR PLANS	1.100			



PROPOSED IMAGE 01

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED IMAGE 01

DRAWING NUMBER

IMG 01

SCALE

NTS

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PROPOSED IMAGE 02

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PROJECT AND LOCATION

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DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED IMAGE 02

DRAWING NUMBER

IMG 02

SCALE

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PROPOSED IMAGE 03

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PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED IMAGE 03

DRAWING NUMBER

IMG 03

SCALE

NTS

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PROPOSED IMAGE 04

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PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED IMAGE 04

DRAWING NUMBER

IMG 04

SCALE

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SITE ANALYSIS PLAN
NTS

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

SITE ANALYSIS PLAN

DRAWING NUMBER

PL 01

SCALE

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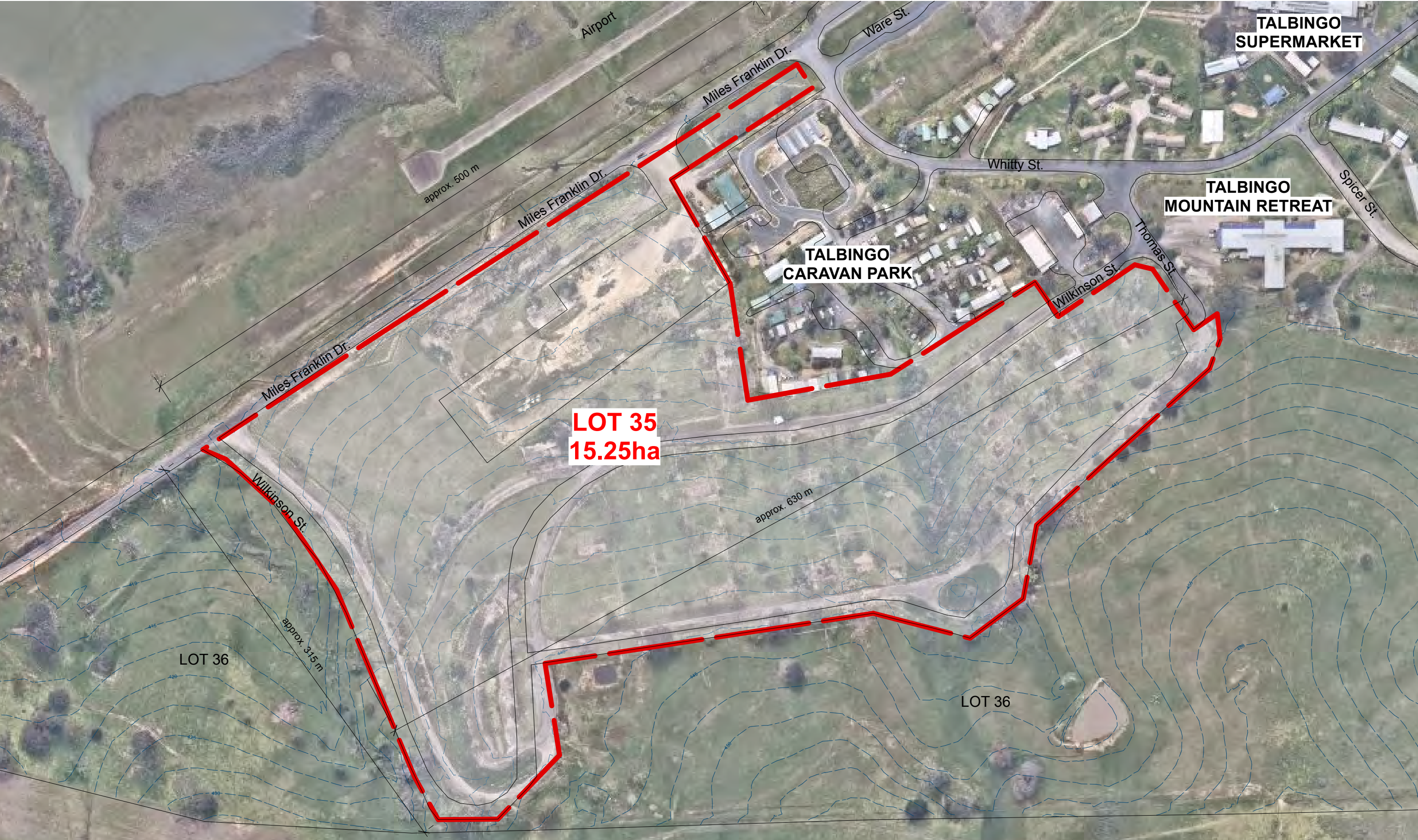
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UK 072397E

ABN 96 630 851 930



PROPOSED LOT DEVELOPMENT PLAN
1.2500

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PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED LOT DEVELOPMENT PLAN

DRAWING NUMBER

PL 02

SCALE

1.2500



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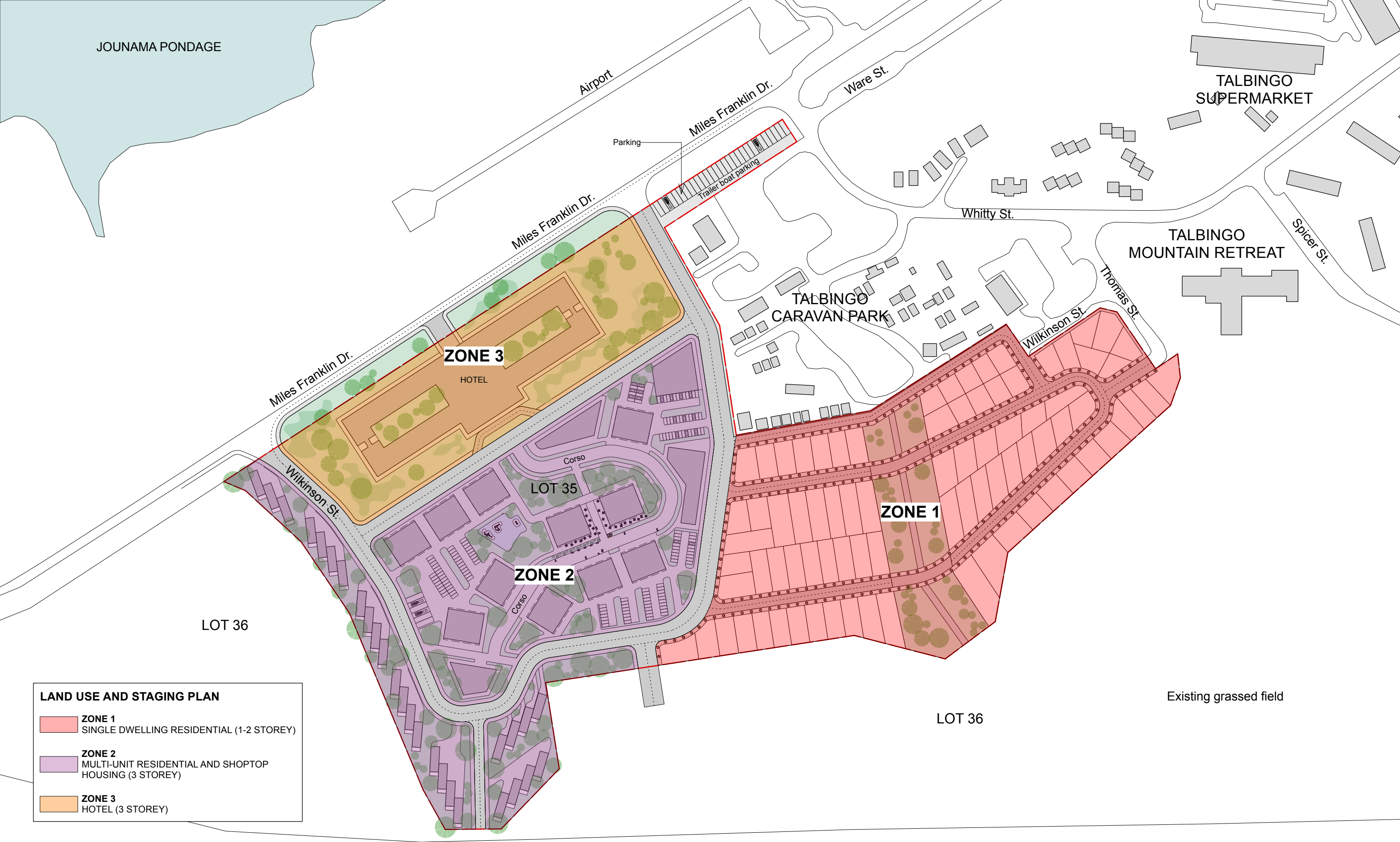
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LAND USE AND STAGING PLAN

ZONE 1
SINGLE DWELLING RESIDENTIAL (1-2 STOREY)

ZONE 2
MULTI-UNIT RESIDENTIAL AND SHOPTOP HOUSING (3 STOREY)

ZONE 3
HOTEL (3 STOREY)

PROPOSED MASTERPLAN CONCEPT
LAND USE AND ZONE PLAN
1.2500

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED MASTERPLAN CONCEPT
LAND USE AND ZONE PLAN

DRAWING NUMBER

PL 04

SCALE

1.2500



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ABN 96 630 851 930



PROPOSED MASTERPLAN CONCEPT
LOT AREAS PLAN
1.2500

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION
LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE
04 APR 23

DRAWING STAGE
MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION
PROPOSED MASTERPLAN CONCEPT
LOT AREAS PLAN

DRAWING NUMBER
PL 05

SCALE
1.2500

N
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18 BAY RD SANDRINGHAM VIC 3191

REGISTERED
ARCHITECT:
VICTORIA 14450
NSW 8367
UK 072397E

ABN 96 630 851 930



BUILDING HEIGHTS AND FSR

Blue	FSR 2.0 Maximum height 18.0m
Orange	FSR 2.0 Maximum height 11.5m
Pink	FSR 1.5 Maximum height 11.5m
Yellow	NO FSR Maximum height 8.5m

PROPOSED MASTERPLAN CONCEPT
FSR AND HEIGHT LIMITS PLAN
1.2500

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED MASTERPLAN CONCEPT
FSR AND HEIGHT LIMITS PLAN

DRAWING NUMBER

PL 06

SCALE

1.2500



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PROPOSED MASTERPLAN CONCEPT
VEHICLE ACCESS PLAN
1.2500

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED MASTERPLAN CONCEPT
VEHICLE ACCESS PLAN

DRAWING NUMBER

PL 07

SCALE

1.2500



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PROPOSED MASTERPLAN CONCEPT
PEDESTRIAN ACCESS AND BICYCLE PATH PLAN
1.2500

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED MASTERPLAN CONCEPT
PEDESTRIAN ACCESS AND
BICYCLE PATH PLAN

DRAWING NUMBER

PL 08

SCALE

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PROPOSED MASTERPLAN CONCEPT
LANDSCAPE PLAN
1.2500

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED MASTERPLAN CONCEPT
LANDSCAPE PLAN

DRAWING NUMBER

PL 09

SCALE

1.2500



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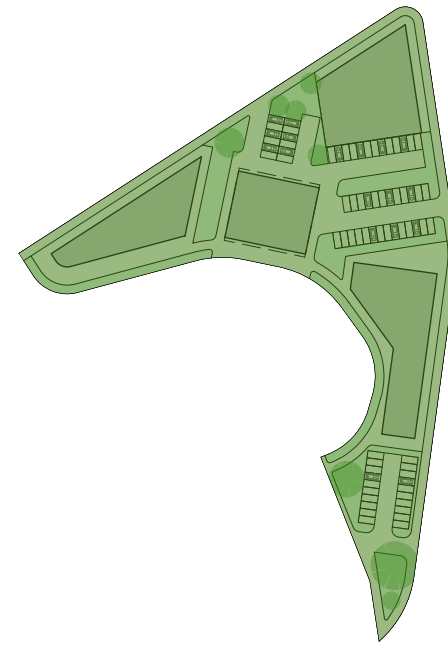
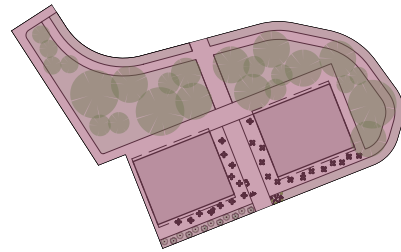
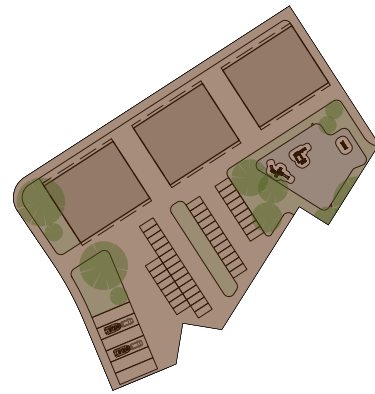
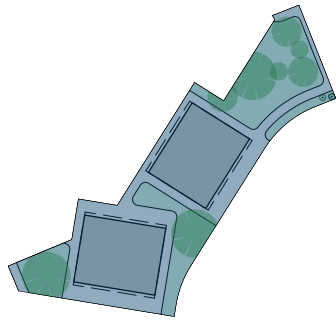
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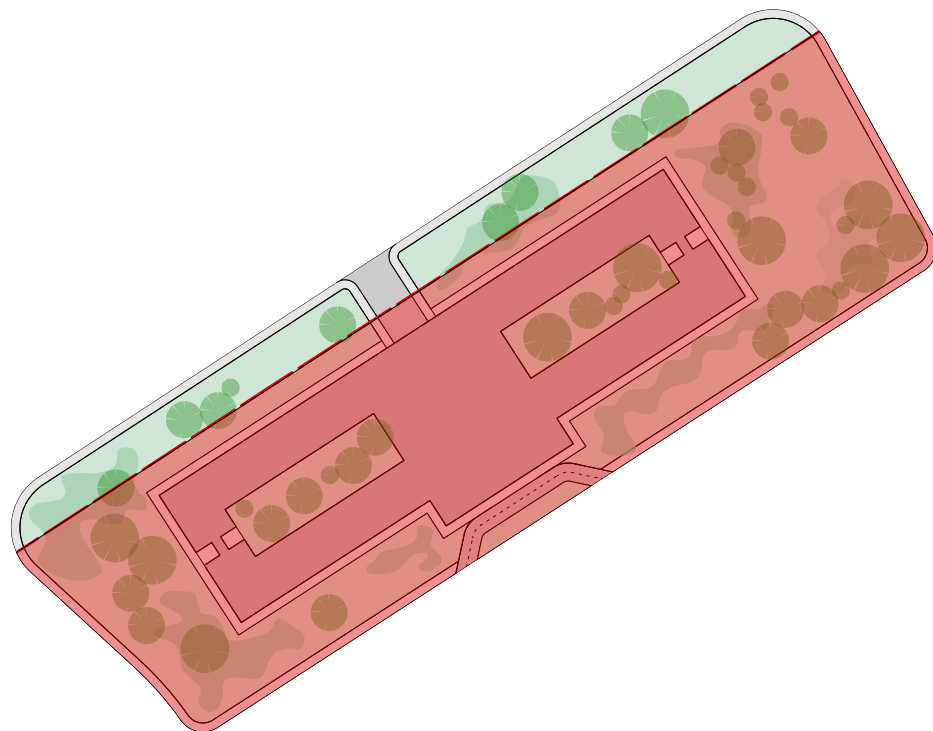
LOT 1
SITE AREA = 3760.00 sq.m COMMERCIAL AREA = 505.20 sq.m RESIDENTIAL AREA = 1765.60 sq.m TOTAL FLOOR AREA = 2270.80 sq.m FSR = 0.6:1 CAR SPACES = 40

LOT 2
SITE AREA = 7775.00 sq.m COMMERCIAL AREA = 757.80 sq.m RESIDENTIAL AREA = 2648.40 sq.m TOTAL FLOOR AREA = 3406.20 sq.m FSR = 0.43:1 CAR SPACES = 104

LOT 3
SITE AREA = 5837.00 sq.m COMMERCIAL AREA = 505.20 sq.m RESIDENTIAL AREA = 1765.60 sq.m TOTAL FLOOR AREA = 2260.80 sq.m FSR = 0.38:1 CAR SPACES = 40

LOT 4
SITE AREA = 10155.00 sq.m COMMERCIAL AREA = 1910.80 sq.m RESIDENTIAL AREA = 4199.20 sq.m TOTAL FLOOR AREA = 6110.00 sq.m FSR = 0.60:1 CAR SPACES = 104

LOT 5
SITE AREA = 8633.00 sq.m COMMERCIAL AREA = 1108.45 sq.m RESIDENTIAL AREA = 3349.65 sq.m TOTAL FLOOR AREA = 4458.10 sq.m FSR = 0.52:1 CAR SPACES = 95



LOT 13
SITE AREA = 25929.00 sq.m TOTAL FLOOR AREA = 12517.00 sq.m FSR = 0.48:1 CAR SPACES = 264

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

AREAS SCHEDULE
SHOPTOP HOUSING AND HOTEL

DRAWING NUMBER

PL 10

SCALE

NTS

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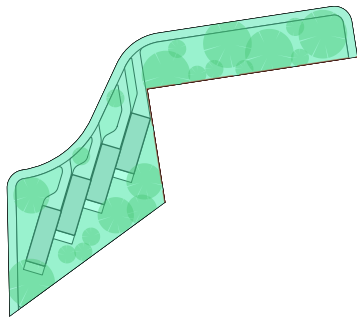
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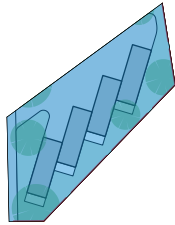
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ARCHITECT:
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UK 072397E

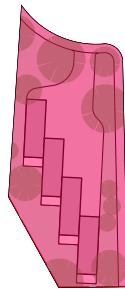
ABN 96 630 851 930



LOT 6
SITE AREA = 3594.00 sq.m TOTAL FLOOR AREA = 746.20 sq.m FSR = 0.2:1
CAR SPACES = 16



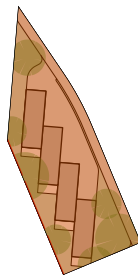
LOT 7
SITE AREA = 2016.00 sq.m TOTAL FLOOR AREA = 746.20 sq.m FSR = 0.37:1
CAR SPACES = 16



LOT 8
SITE AREA = 2873.00 sq.m TOTAL FLOOR AREA = 746.20 sq.m FSR = 0.26:1
CAR SPACES = 16



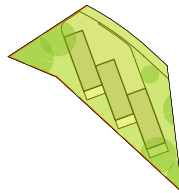
LOT 9
SITE AREA = 1871.00 sq.m TOTAL FLOOR AREA = 746.20 sq.m FSR = 0.39:1
CAR SPACES = 16



LOT 10
SITE AREA = 1904.00 sq.m TOTAL FLOOR AREA = 746.20 sq.m FSR = 0.39:1
CAR SPACES = 16



LOT 11
SITE AREA = 1855.00 sq.m TOTAL FLOOR AREA = 746.20 sq.m FSR = 0.40:1
CAR SPACES = 16



LOT 12
SITE AREA = 1455.00 sq.m TOTAL FLOOR AREA = 559.65 sq.m FSR = 0.38:1
CAR SPACES = 12

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

AREAS SCHEDULE
TOWNHOUSES

DRAWING NUMBER

PL 11

SCALE

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Village Centre area comprising Lots 1 - 5

PROPOSED SHOPTOP HOUSING



Typical view with commercial tenancies on ground floor and residential apartments on level 1 and level 2

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED SHOPTOP HOUSING

DRAWING NUMBER

PL 12

SCALE

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PART 3 - SITTING THE DEVELOPMENT	OBJECTIVES	DESIGN CRITERIA	PROPOSED	COMPLIANCE
3A. Site Analysis	3A-1. Site Analysis illustrates that design decisions have been based on opportunities and constraints of the site conditions and their relationship to the surrounding context		The proposed development has been designed as a response to the landmark position of the site with the landscape	YES
3B. Orientation	3B-1. Building types and layouts respond to the streetscape and site while optmising solar access within the development		The proposed layout has been proposed taking into account the site proportions, streetscape and slope, providing pedestrian and car access from Miles Franklin Drive as well as Wilkinson Street and any future roads	YES
	3B-2. Overshadowing of neighbouring properties is minimised during mid winter		The site slope, the way the buildings are set up and the height limits allow for a minimum amount of shadow during winter months	YES
3C. Public Domain Interface	3C-1. Transition between private and public domain is achieved without compromising safety and security		Private dwellings within the development are provided with separate access.	YES
	3C-2. Amenity of the public domain is retained and enhanced		Amenity of the public domain is enhanced across the whole site by streetscape activation	YES
3D. Communal and Public Open Space	3D-1. An adequate area of communal open space is provided to enhance residential amenity and to provide opportunities for landscaping	1. Communal open space has a minimum area equal to 25% of the site 2. Developments achieve a minimum of 50% direct sunlight to the principal usable part of the communal open space for a minimum of 2 hours between 9am and 3pm on 21 June (mid winter)	There is a considerable amount of communal and open space across the site and in between buildings, providing opportunities for landscaping	YES
	3D-2. Communal open space is designed to allow for range of activities, respond to site conditions and be attractive and inviting		There is a considerable amount of communal space in between buildings allowing for attractive and inviting activities	YES
	3D-3. Communal open space is designed to maximise safety		The buildings layout allows for a mixed commercial and residential use, maximising safety, as well as making sure it's distant enough from the main road	YES
	3D-4. Public open space, where provided, is responsive to the existing pattern and uses of the neighbourhood		The site is designed responding to the existing landscape and slope, allowing public open spaces to make the best use of the neighbourhood	YES

PART 3 - SITTING THE DEVELOPMENT	OBJECTIVES	DESIGN CRITERIA	PROPOSED	COMPLIANCE													
3E. Deep soil zone	3E-1. Deep soil zones provide areas on the site that allow for and support healthy plant and tree growth. They improve residential amenity and promote management of water and air quality	<div>1. Deep soil zones are to meet the following minimum requirements</div> <table><tr><th>Site area</th><th>Minimum dimensions</th><th>Deep soil zone (% of site area)</th></tr><tr><td>less than 650m²</td><td>-</td><td rowspan="3">7%</td></tr><tr><td>650m² - 1,500m²</td><td>3m</td></tr><tr><td>greater than 1,500m²</td><td>6m</td></tr><tr><td>greater than 1,500m² with significant existing tree cover</td><td>6m</td><td></td></tr></table>	Site area	Minimum dimensions	Deep soil zone (% of site area)	less than 650m²	-	7%	650m² - 1,500m²	3m	greater than 1,500m²	6m	greater than 1,500m² with significant existing tree cover	6m			--
Site area	Minimum dimensions	Deep soil zone (% of site area)															
less than 650m²	-	7%															
650m² - 1,500m²	3m																
greater than 1,500m²	6m																
greater than 1,500m² with significant existing tree cover	6m																
3F. Visual privacy	3F-1. Adequate building separation distances are shared equitably between neighbouring sites, to achieve reasonable levels of external and internal visual privacy	<div>Separation between windows and balconies is provided to ensure visual privacy is achieved. Minimum required separation distances from buildings to the side and rear boundaries are as follows:</div> <table><tr><th>Building height</th><th>Habitable rooms and balconies</th><th>Non-habitable rooms</th></tr><tr><td>up to 12m (4 storeys)</td><td>6m</td><td>3m</td></tr><tr><td>up to 25m (5-8 storeys)</td><td>9m</td><td>4.5m</td></tr><tr><td>over 25m (9+ storeys)</td><td>12m</td><td>6m</td></tr></table>	Building height	Habitable rooms and balconies	Non-habitable rooms	up to 12m (4 storeys)	6m	3m	up to 25m (5-8 storeys)	9m	4.5m	over 25m (9+ storeys)	12m	6m	The distance between buildings allows compliance with the criteria	YES	
	Building height	Habitable rooms and balconies	Non-habitable rooms														
up to 12m (4 storeys)	6m	3m															
up to 25m (5-8 storeys)	9m	4.5m															
over 25m (9+ storeys)	12m	6m															
	3F-2. Site and building design elements increase privacy without compromising access to light and air and balance outlook and views from habitable rooms and private open space		The distance between buildings as well as orientation allows compliance with the criteria	YES													
3G. Pedestrian access and entries	3G-1. Building entries and pedestrian access connects to and addresses the public domain		Multiple entries are provided to each building, allowing as well a separation between the commercial and residential areas. Different entries are identified by front signs	YES													
	3G-2. Access, entries and pathways are accessible and easy to identify			YES													
	3G-3. Large sites provide pedestrian links for access to streets and connection to destinations			YES													
3H. Vehicle access	3H-1. Vehicle access points are designed and located to achieve safety, minimise conflicts between pedestrians and vehicles and create high quality streetscapes		Each building has a set of car parking spaces and access close which allows for less movement of cars, minimising possible conflicts between pedestrians and vehicles	YES													

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED SHOPTOP HOUSING
APARTMENT DESIGN GUIDE

DRAWING NUMBER

PL 13

SCALE

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PART 3 - SITTING THE DEVELOPMENT	OBJECTIVES	DESIGN CRITERIA	PROPOSED	COMPLIANCE												
3J. Bicycle and car parking	3J-1. Car parking is provided based on proximity to public transport in metropolitan Sydney and centres in regional areas	1. For development in the following locations: - on sites that are within 800m of a railway station or light rail stop in the Sydney Metropolitan Area; or - on land zoned, and sites within 400m of land zoned, B3 Commercial Core, B4 Mixed Use or equivalent in a nominated regional centre the minimum car parking requirement for residents and visitors is set out in the Guide to Traffic Generating Developments, or the car parking requirement prescribed by the relevant council, whichever is less. The car parking needs for a development must be provided off street		Not applicable												
	3J-2. Parking and facilities are provided for other modes of transport		Bicycle lanes are provided on streets located inside the development and bicycle parking is provided around the site	YES												
	3J-3. Car park design and access is safe and secure		Each building has their car parking spaces, allowing for safer movement of cars and pedestrians	YES												
	3J-4. Visual and environmental impacts of underground car parking are minimised		No underground car parking provided	Not applicable												
	3J-5. Visual and environmental impacts of on-grade car parking are minimised			YES												
	3J-6. Visual and environmental impacts of above ground enclosed car parking are minimised		No above ground enclosed car parking provided	Not applicable												
PART 4 - DESIGNING THE BUILDING	OBJECTIVES	DESIGN CRITERIA	PROPOSED	COMPLIANCE												
4A. Solar and daylight access	4A-1. To optimise the number of apartments receiving sunlight to habitable rooms, primary windows and private open space	1. Living rooms and private open spaces of at least 70% of apartments in a building receive a minimum of 2 hours direct sunlight between 9am and 3pm at mid winter in the Sydney Metropolitan Area and in the Newcastle and Wollongong local government areas 2. In all other areas, living rooms and private open spaces of at least 70% of apartments in a building receive a minimum of 3 hours direct sunlight between 9am and 3pm at mid winter 3. A maximum of 15% of apartments in a building receive no direct sunlight between 9am and 3pm at mid winter		YES												
		4A-2. Daylight access is maximised where sunlight is limited		YES												
		4A-3. Design incorporates shading and glare control, particularly for warmer months	Balcony overhangs an verandahs are provided throughout	YES												
4B. Natural ventilation	4B-1. All habitable rooms are naturally ventilated			YES												
	4B-2. The layout and design of single aspect apartments maximises natural ventilation			YES												
	4B-3. The number of apartments with natural cross ventilation is maximised to create a comfortable indoor environment for residents	1. At least 60% of apartments are naturally cross ventilated in the first nine storeys of the building. Apartments at ten storeys or greater are deemed to be cross ventilated only if any enclosure of the balconies at these levels allows adequate natural ventilation and cannot be fully enclosed 2. Overall depth of a cross-over or cross-through apartment does not exceed 18m, measured glass line to glass line	The apartments layout and orientation allow cross ventilation to be a feature in all buildings	YES												
4C. Ceiling heights	4C-1. Ceiling height achieves sufficient natural ventilation and daylight access	1. Measured from finished floor level to finished ceiling level, minimum ceiling heights are: <table><tr><th colspan="2">Minimum ceiling height for apartment and mixed use buildings</th></tr><tr><td>Habitable rooms</td><td>2.7m</td></tr><tr><td>Non-habitable</td><td>2.4m</td></tr><tr><td>For 2 storey apartments</td><td>2.7m for main living area floor 2.4m for second floor, where its area does not exceed 50% of the apartment area</td></tr><tr><td>Attic spaces</td><td>1.8m at edge of room with a 30 degree minimum ceiling slope</td></tr><tr><td>If located in mixed used areas</td><td>3.3m for ground and first floor to promote future flexibility of use</td></tr></table> These minimums do not preclude higher ceilings if desired	Minimum ceiling height for apartment and mixed use buildings		Habitable rooms	2.7m	Non-habitable	2.4m	For 2 storey apartments	2.7m for main living area floor 2.4m for second floor, where its area does not exceed 50% of the apartment area	Attic spaces	1.8m at edge of room with a 30 degree minimum ceiling slope	If located in mixed used areas	3.3m for ground and first floor to promote future flexibility of use	Finished ceiling heights is 2.7 for residential and commercial levels	YES
Minimum ceiling height for apartment and mixed use buildings																
Habitable rooms	2.7m															
Non-habitable	2.4m															
For 2 storey apartments	2.7m for main living area floor 2.4m for second floor, where its area does not exceed 50% of the apartment area															
Attic spaces	1.8m at edge of room with a 30 degree minimum ceiling slope															
If located in mixed used areas	3.3m for ground and first floor to promote future flexibility of use															

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED SHOPTOP HOUSING
APARTMENT DESIGN GUIDE

DRAWING NUMBER

PL 14

SCALE

NTS

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ARCHITECT:
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UK 072397E

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PART 4 - DESIGNING THE BUILDING	OBJECTIVES	DESIGN CRITERIA	PROPOSED	COMPLIANCE										
4C. Ceiling heights	4C-2. Ceiling height increases the sense of space in apartments and provides for well proportioned rooms		Finished ceiling heights is 2.7 for residential levels	YES										
	4C-3. Ceiling heights contribute to the flexibility of building use over the life of the building		Finished ceiling heights is 2.7 for residential levels	YES										
4D. Apartment size and layout	4D-1. The layout of rooms within an apartment is functional, well organised and provides a high standard of amenity	<div>1. Apartments are required to have the following minimum internal areas:</div> <table><tr><th>Apartment type</th><th>Minimum Internal area</th></tr><tr><td>Studio</td><td>35m²</td></tr><tr><td>1 bedroom</td><td>50m²</td></tr><tr><td>2 bedroom</td><td>70m²</td></tr><tr><td>3 bedroom</td><td>90m²</td></tr></table> <div>The minimum internal areas include only one bathroom. Additional bathrooms increase the minimum internal areas by 5sq.m each. A fourth bedroom and further additional bedrooms increase the minimum internal area by 12sq.m each.</div> <div>2. Every habitable room must have a window in an external wall with a total minimum glass area of not less than 10% of the floor area of the room. Daylight and air may not be borrowed from other rooms</div>	Apartment type	Minimum Internal area	Studio	35m²	1 bedroom	50m²	2 bedroom	70m²	3 bedroom	90m²	All apartments comply with the minimum internal areas required	YES
	Apartment type	Minimum Internal area												
	Studio	35m²												
1 bedroom	50m²													
2 bedroom	70m²													
3 bedroom	90m²													
4D-2. Environmental performance of the apartment is maximised	<div>1. Habitable room depths are limited to a maximum of 2.5 x the ceiling height</div> <div>2. In open plan layouts (where the living, dining and kitchen are combined) the maximum habitable room depth is 8m from a window</div>		YES											
4D-3. Apartment layouts are designed to accommodate a variety of household activities and needs	<div>1. Master Bedrooms have a minimum area of 10sq.m and other bedrooms 9sq.m (excluding wardrobe space)</div> <div>2. Bedrooms have a minimum dimension of 3m (excluding wardrobe space)</div> <div>3. Living rooms or combined living/dining rooms have a minimum width of: - 3.6m for studio and 1 bedroom apartments - 4m for 2 and 3 bedroom apartments</div> <div>4. The width of cross-over or cross-through apartments are at least 4m internally to avoid deep narrow apartment layouts</div>		YES											

PART 4 - DESIGNING THE BUILDING	OBJECTIVES	DESIGN CRITERIA	PROPOSED	COMPLIANCE															
4E. Private open space and balconies	4E-1. Apartments provide appropriately sized private open space and balconies to enhance residential amenity	1. All apartments are required to have primary balconies as follows:	All apartments comply with the minimum areas and depths required	YES															
		<table><tr><th>Dwelling type</th><th>Minimum area</th><th>Minimum depth</th></tr><tr><td>Studio apartments</td><td>4m²</td><td>-</td></tr><tr><td>1 bedroom apartments</td><td>8m²</td><td>2m</td></tr><tr><td>2 bedroom apartments</td><td>10m²</td><td>2m</td></tr><tr><td>3+ bedroom apartments</td><td>12m²</td><td>2.4m</td></tr></table>			Dwelling type	Minimum area	Minimum depth	Studio apartments	4m²	-	1 bedroom apartments	8m²	2m	2 bedroom apartments	10m²	2m	3+ bedroom apartments	12m²	2.4m
		Dwelling type			Minimum area	Minimum depth													
		Studio apartments			4m²	-													
		1 bedroom apartments			8m²	2m													
2 bedroom apartments	10m²	2m																	
3+ bedroom apartments	12m²	2.4m																	
The minimum balcony depth to be counted as contributing to the balcony area is 1m																			
2. For apartments at ground level or on a podium or similar structure, a private open space is provided instead of a balcony. It must have a minimum area of 15sq.m and a minimum depth of 3m																			
4E-2. Primary private open space and balconies are appropriately located to enhance liveability for residents	All balconies are located adjacent to living rooms, dining rooms and bedrooms. All balconies are designed with the longer side facing outwards.	YES																	
4E-3. Private open space and balcony design is integrated into and contributes to the overall architectural form and detail of the building	All balustrades are designed to be 1.1m high and partially solid (steel slats)	YES																	
4E-4. Private open space and balcony design maximises safety		YES																	
4F. Common circulation and spaces	4F-1. Common circulation spaces achieve good amenity and properly service the number of apartments	1. The maximum number of apartments off a circulation core on a single level is eight 2. For buildings of 10 storeys and over, the maximum number of apartments sharing a single lift is 40	The maximum number of apartments off a circulation core on a level is four	YES															
	4F-2. Common circulation spaces promote safety and provide for social interaction between residents		The design provides short corridor lengths	YES															
4G. Storage	4G-1. Adequate, well designed storage is provided in each apartment	1. In addition to storage in kitchens, bathrooms and bedrooms, the following storage is provided: <table><tr><th>Dwelling type</th><th>Storage size volume</th></tr><tr><td>Studio apartments</td><td>4m³</td></tr><tr><td>1 bedroom apartments</td><td>6m³</td></tr><tr><td>2 bedroom apartments</td><td>8m³</td></tr><tr><td>3+ bedroom apartments</td><td>10m³</td></tr></table> At least 50% of the requirement storage is to be located within the apartment	Dwelling type	Storage size volume	Studio apartments	4m³	1 bedroom apartments	6m³	2 bedroom apartments	8m³	3+ bedroom apartments	10m³	Not enough storage space is provided	NO					
Dwelling type	Storage size volume																		
Studio apartments	4m³																		
1 bedroom apartments	6m³																		
2 bedroom apartments	8m³																		
3+ bedroom apartments	10m³																		

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED SHOPTOP HOUSING
APARTMENT DESIGN GUIDE

DRAWING NUMBER

PL 15

SCALE

NTS

SERVICES PROVIDED BY

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SUITE 303, 61 MARLBOROUGH ST
SURREY HILLS NSW 2010

18 BAY RD SANDRINGHAM VIC 3191

REGISTERED
ARCHITECT:
VICTORIA 14450
NSW 8367
UK 072397E

ABN 96 630 851 930

PART 4 - DESIGNING THE BUILDING	OBJECTIVES	DESIGN CRITERIA	PROPOSED	COMPLIANCE
4S. Mixed use	4S-1. Mixed use developments are provided in appropriate locations and provide active street frontages that encourage pedestrian movement		The development provides commercial and retail uses on the ground floor, that activate frontages that encourage pedestrian movement	YES
	4S-2. Residential levels of the building are integrated within the development, and safety and amenity is maximised for residents		Residential use is located on soley residential floor levels in order to maximise amenity and safety, but is connected to the commercial area of hte building	YES
4T. Awnings and signage	4T-1. Awnings are well located and complement and integrate with the building design		Awnings are located to the north and south whre there are balconies	YES
	4T-2. Signage responds to the context and desired streetscape character		Signage would be designed into the facade with signage plates	YES
4U. Energy efficiency	4U-1. Development incorporates passive environmental design		--	--
	4U-2. Development incorporates passive solar design to optimise heat storage in winter and reduce heat transfer in summer		The building orientation permits good passive design through East and North facades. Southern apartments have been designed to capture also easternly light	YES
	4U-3. Adequate natural ventilation minimises the need for mechanical ventilation		Apartments are provided with openabel windows throughout encouraging natural ventilation	YES
4V. Water management and conservation	4V-1. Potable water use is minimised	Roof and balcony run off, porous and open paving, on-site infiltration	WSUD principles will be integrated into the public space stormwater and building waste water	YES
	4V-2. Urban stormwater is treated on site before being discharged to receiving waters			
	4V-3. Flood management systems are integrated into site design			

PART 4 - DESIGNING THE BUILDING	OBJECTIVES	DESIGN CRITERIA	PROPOSED	COMPLIANCE
4X. Building maintenance	4X-1. Building design detail provides protection from weathering	Design features that protect from weathering and accessible maintenance systems	The building is proposed to be built from high quality robust materials that will age well such as riverstone facing. The design integrates awning and screens that provide protection to wall surfaces. Most walls and windows are accessible at their level or by adjacent balconies	YES
	4X-2. Systems and access enable ease of maintenance		Access systems are to be provided in accordance with BCA and building product maintenance standards	YES
	4X-3. Material selection reduces ongoing maintenance costs		Building materials will be of a standard to ensure long term quality and life	YES

PROJECT AND LOCATION

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DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

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PROPOSED SHOPTOP HOUSING
APARTMENT DESIGN GUIDE

DRAWING NUMBER

PL 16

SCALE

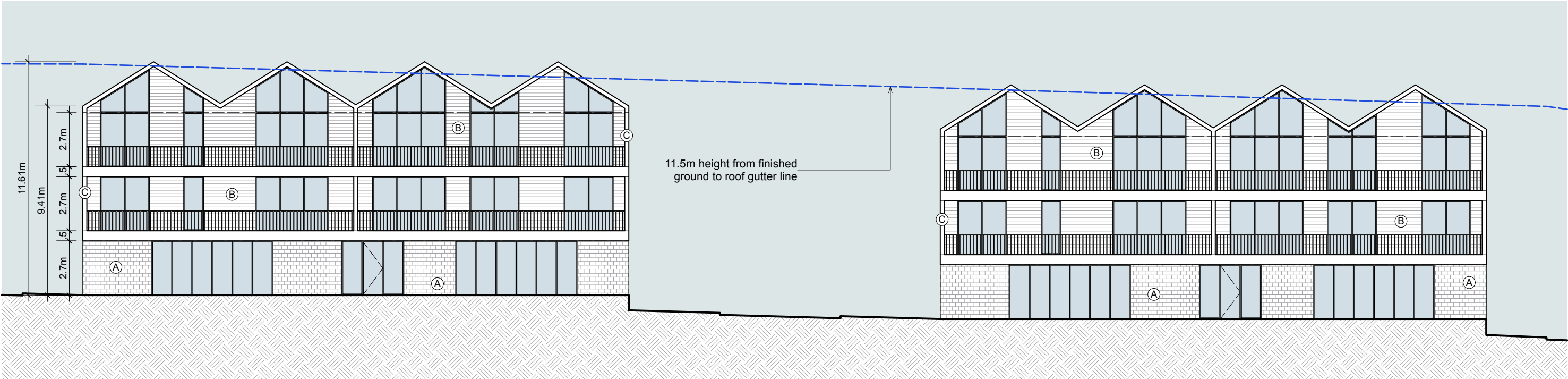
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- MATERIALS AND FINISHES
- (A) NATURAL HONED RIVERSTONE FACING
 - (B) PAINTED WEATHERTEX WEATHERGROOVE FUSION SMOOTH DULUX 'MT. ASPIRING' HALF
 - (C) MATT COLORBOND STANDING SEAM CLADDING ON 'BLUEGUM'

PROPOSED SHOPTOP HOUSING
TYPICAL ELEVATION
1.200

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PROJECT AND LOCATION
LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE
04 APR 23

DRAWING STAGE
MASTERPLAN CONCEPT DRAWINGS
DRAWING DESCRIPTION
PROPOSED SHOPTOP HOUSING
TYPICAL ELEVATION

DRAWING NUMBER
PL 17
SCALE
1.200

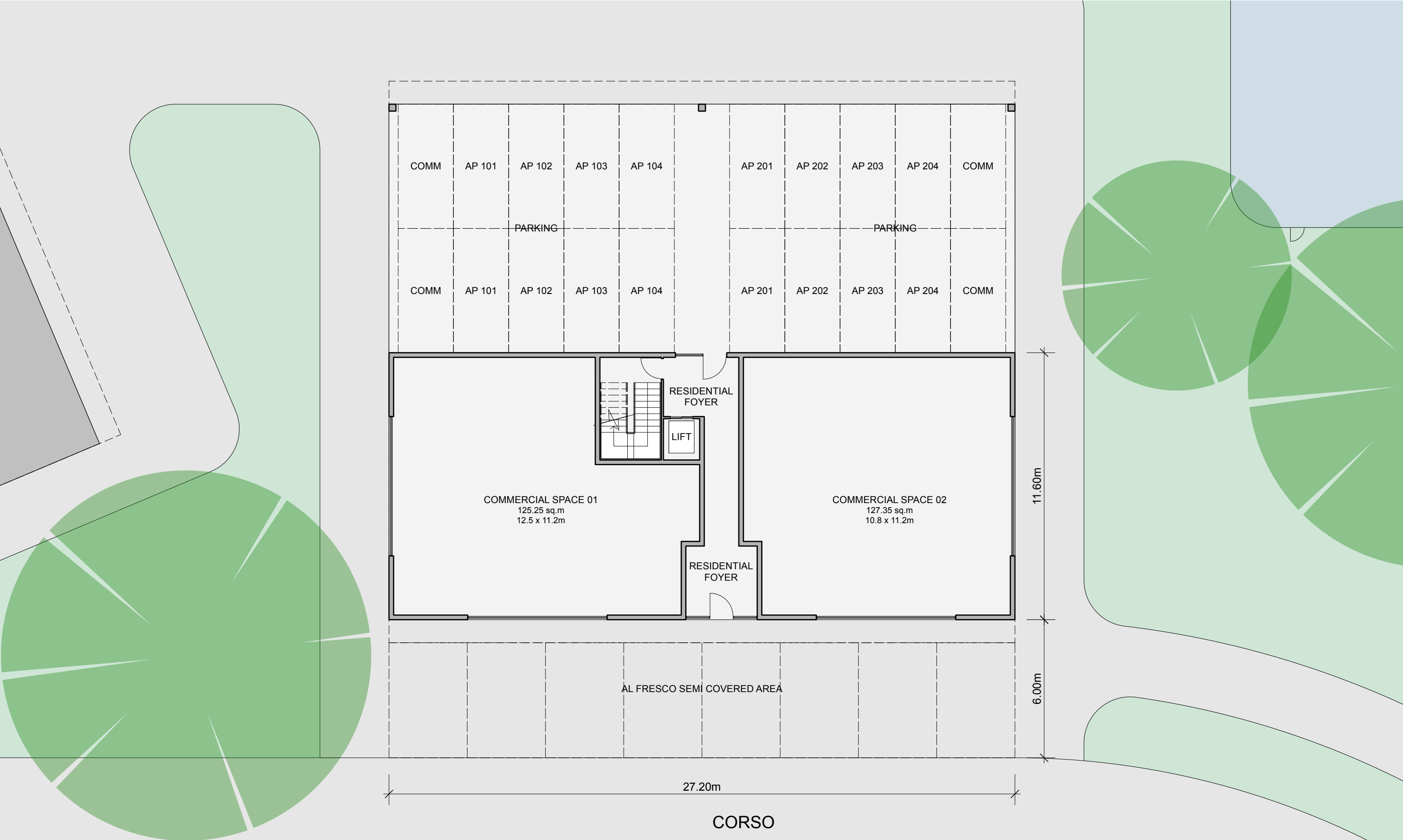
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PROPOSED SHOPTOP HOUSING
TYPICAL GROUND FLOOR PLAN
1.150

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PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED SHOPTOP HOUSING
TYPICAL GROUND FLOOR PLAN

DRAWING NUMBER

PL 18

SCALE

1.150

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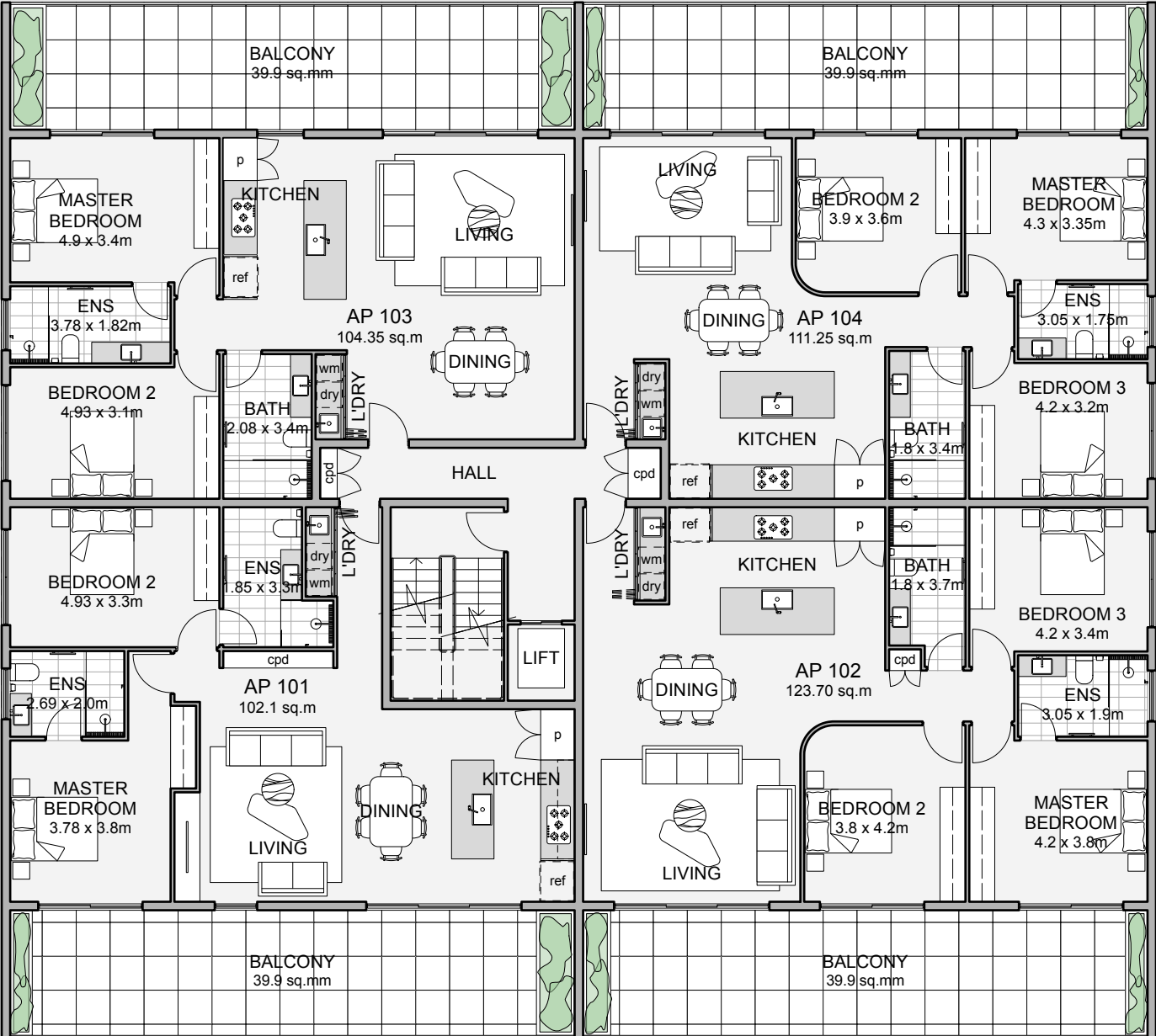
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CORSO

PROPOSED SHOPTOP HOUSING
TYPICAL FIRST FLOOR PLAN
1.150

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PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED SHOPTOP HOUSING
TYPICAL FIRST FLOOR PLAN

DRAWING NUMBER

PL 19

SCALE

1.150

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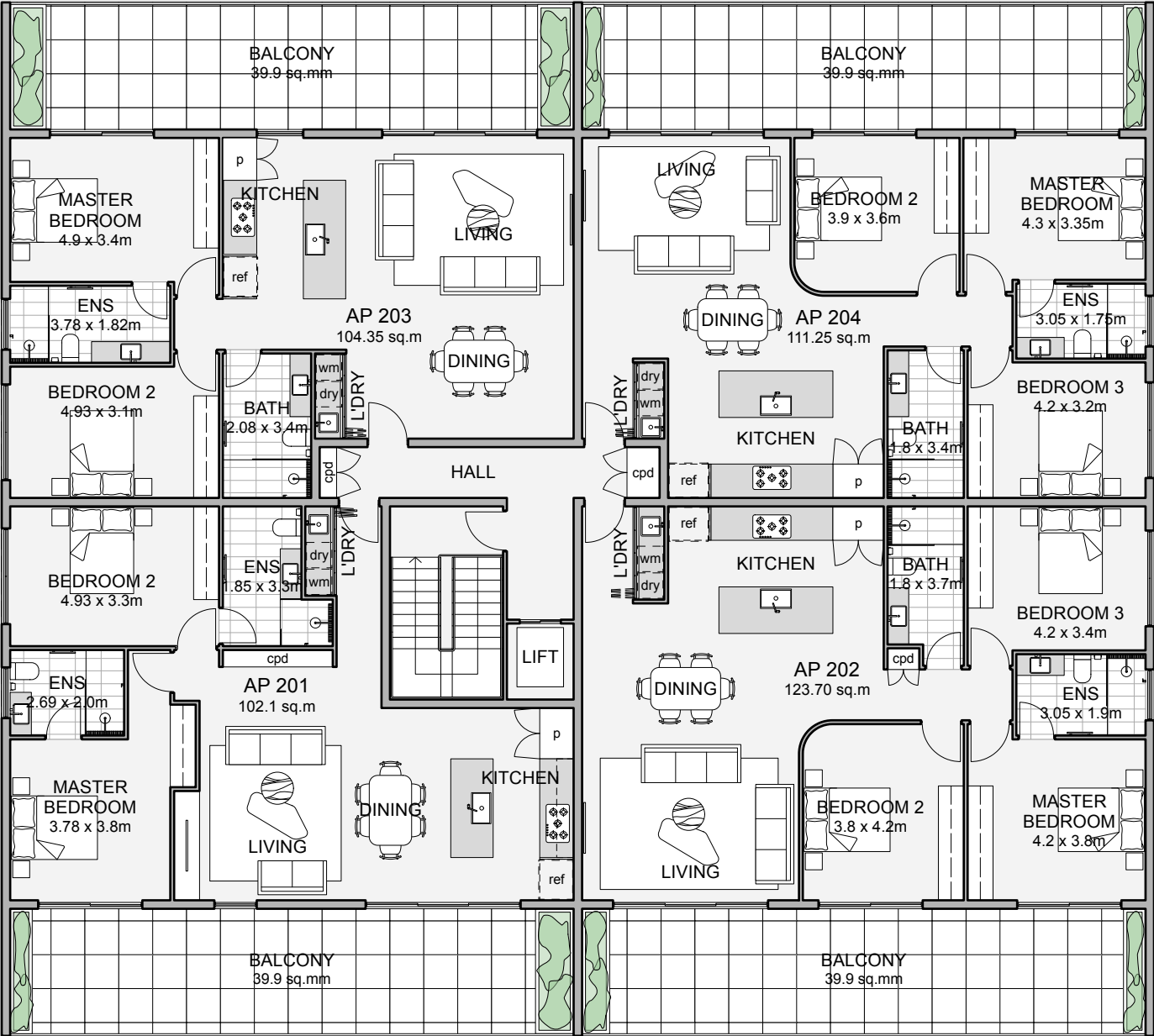
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CORSO

PROPOSED SHOPTOP HOUSING
TYPICAL SECOND FLOOR PLAN
1.150

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PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED SHOPTOP HOUSING
TYPICAL SECOND FLOOR PLAN

DRAWING NUMBER

PL 20

SCALE

1.150

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PROPOSED MULTI-UNIT DWELLING (TOWNHOUSES)



Western side of Wilkinson Street comprising Lots 6 - 12



Typical view with clusters of 4 attached terrace house units with carpark on ground level and two level dwelling above

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED MULTI-UNIT DWELLING
(TOWNHOUSES)

DRAWING NUMBER

PL 21

SCALE

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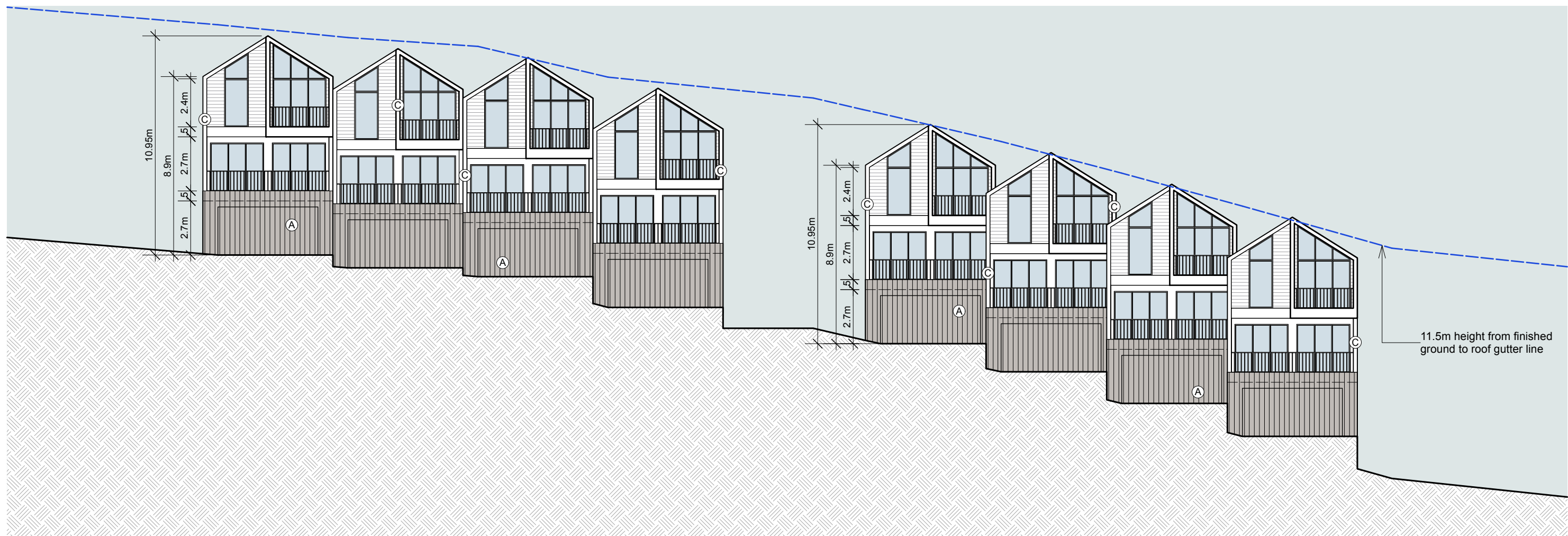
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ARCHITECT:
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NSW 8367
UK 072397E

ABN 96 630 851 930



- MATERIALS AND FINISHES**
- (A) THERMALLY TREATED TIMBER SHIPLAP CLADDING
 - (B) PAINTED WEATHERTEX WEATHERGROOVE FUSION SMOOTH DULUX 'MT. ASPIRING' HALF
 - (C) MATT COLORBOND STANDING SEAM CLADDING IN 'BLUEGUM'



PROPOSED MULTI-UNIT DWELLING
(TOWNHOUSES) ELEVATIONS
1.200

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

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DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED MULTI-UNIT DWELLING
(TOWNHOUSES) ELEVATIONS

DRAWING NUMBER

PL 22

SCALE

1.200

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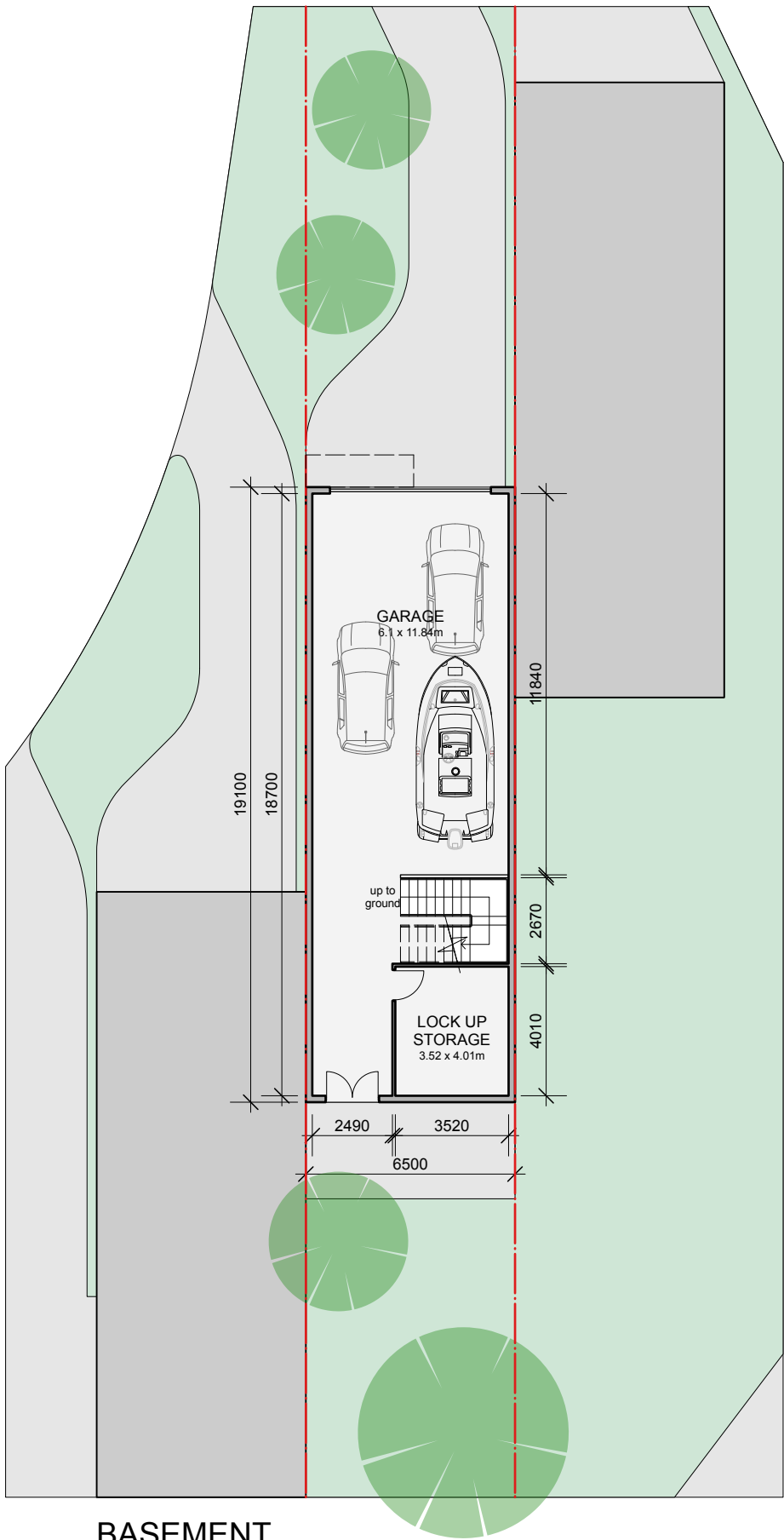
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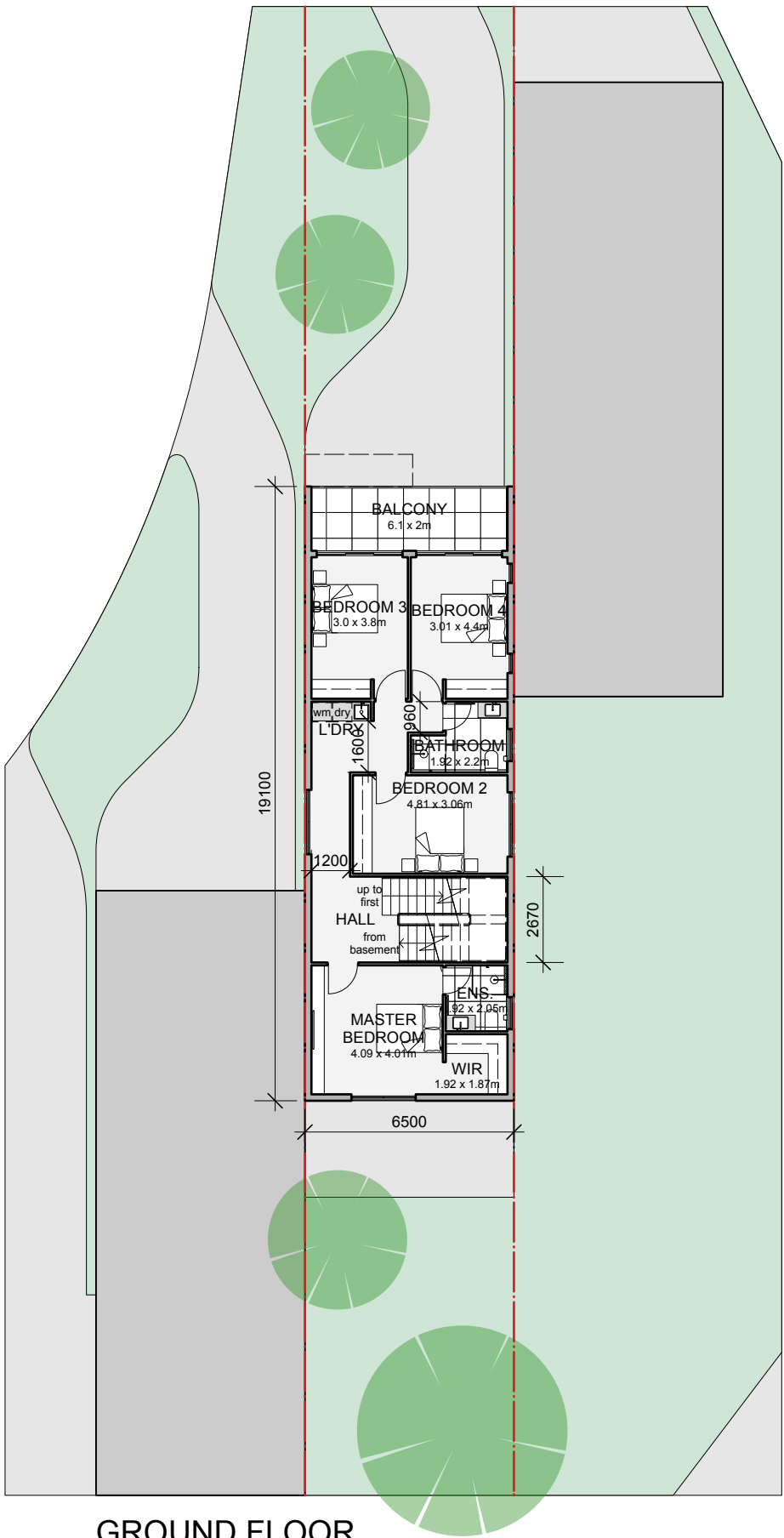
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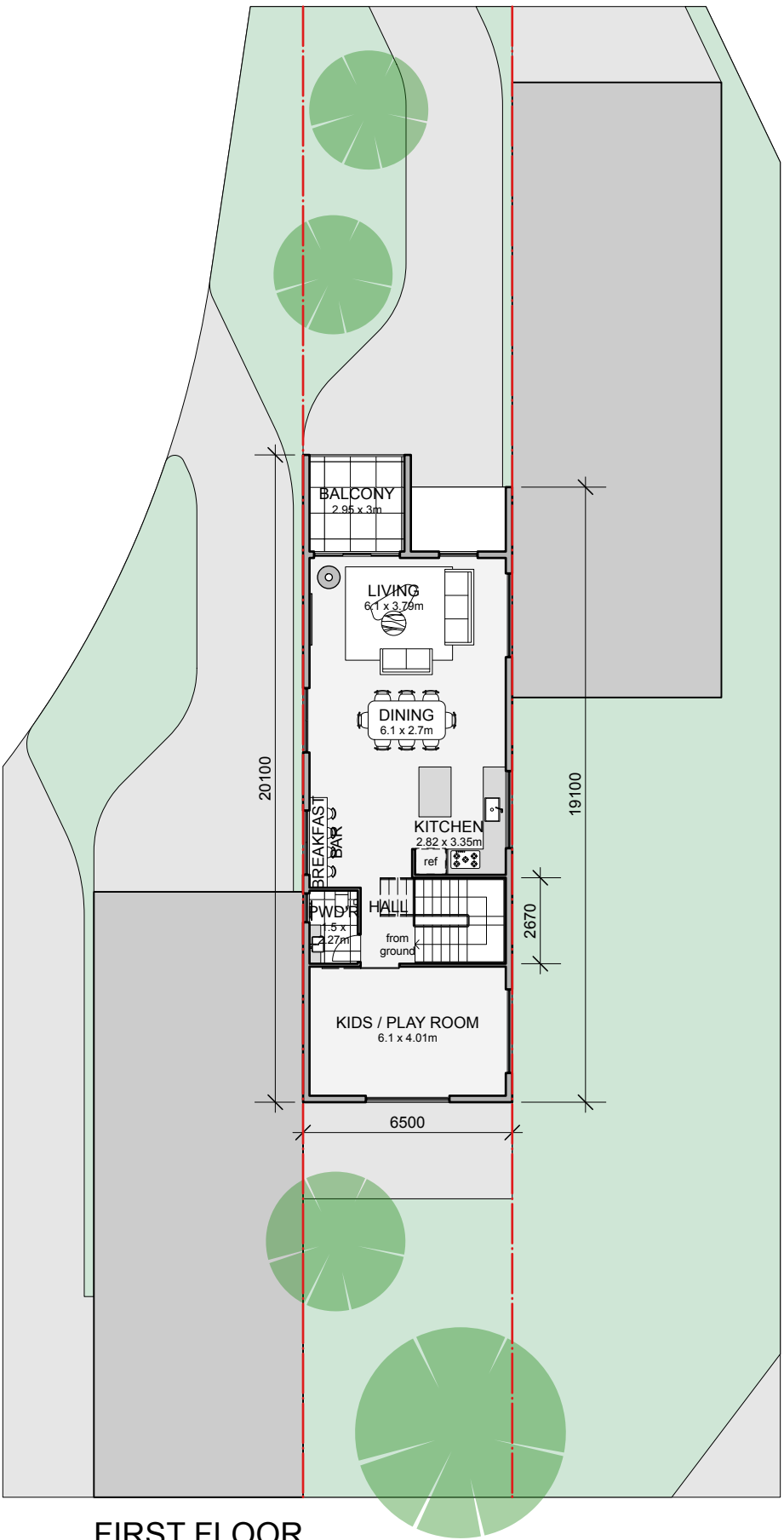
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BASEMENT



GROUND FLOOR



FIRST FLOOR

PROPOSED MULTI-UNIT DWELLING
(TOWNHOUSES) FLOOR PLANS
1.200

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED MULTI-UNIT DWELLING
(TOWNHOUSES) FLOOR PLANS

DRAWING NUMBER

PL 23

SCALE

1.200

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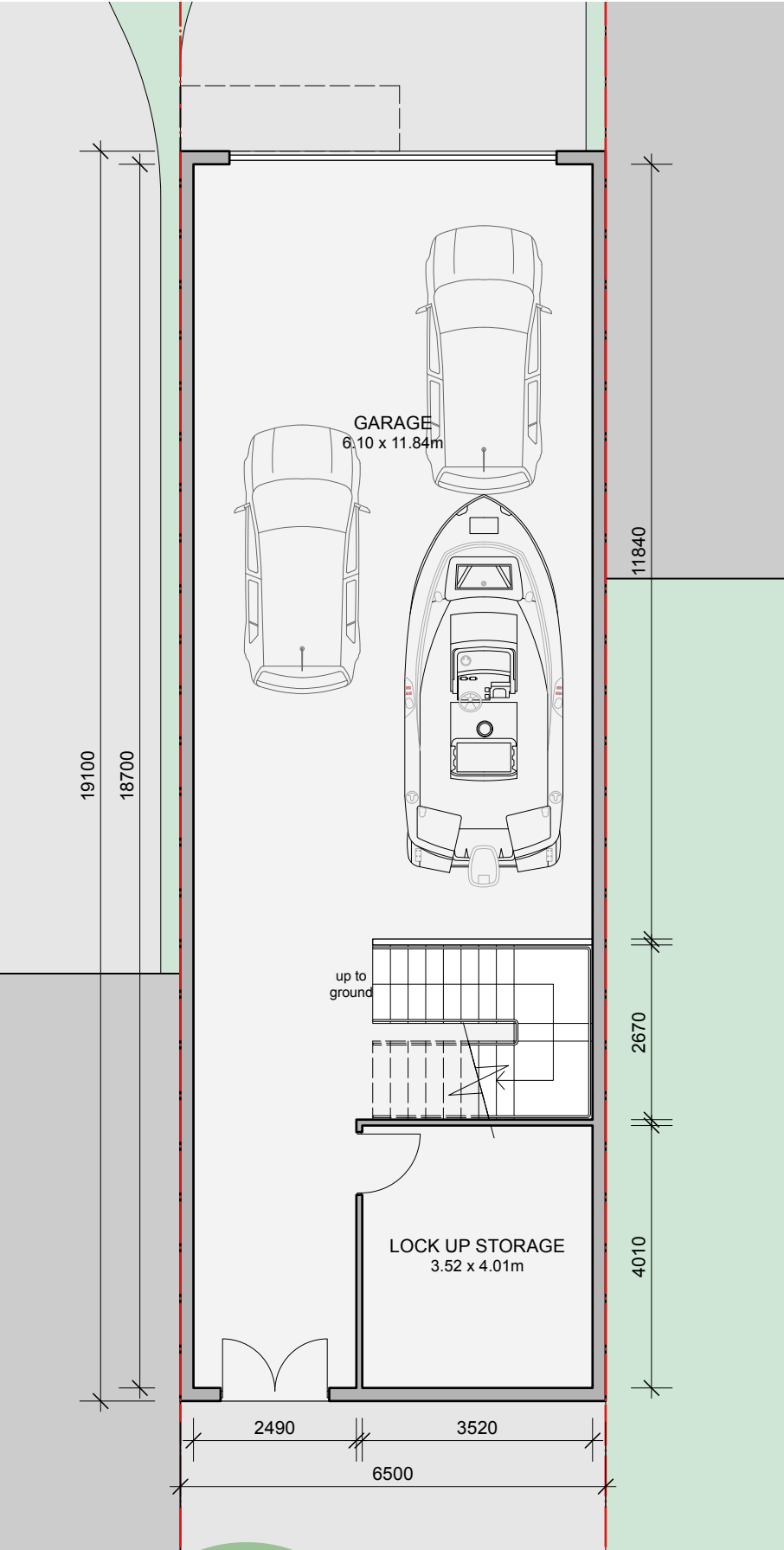
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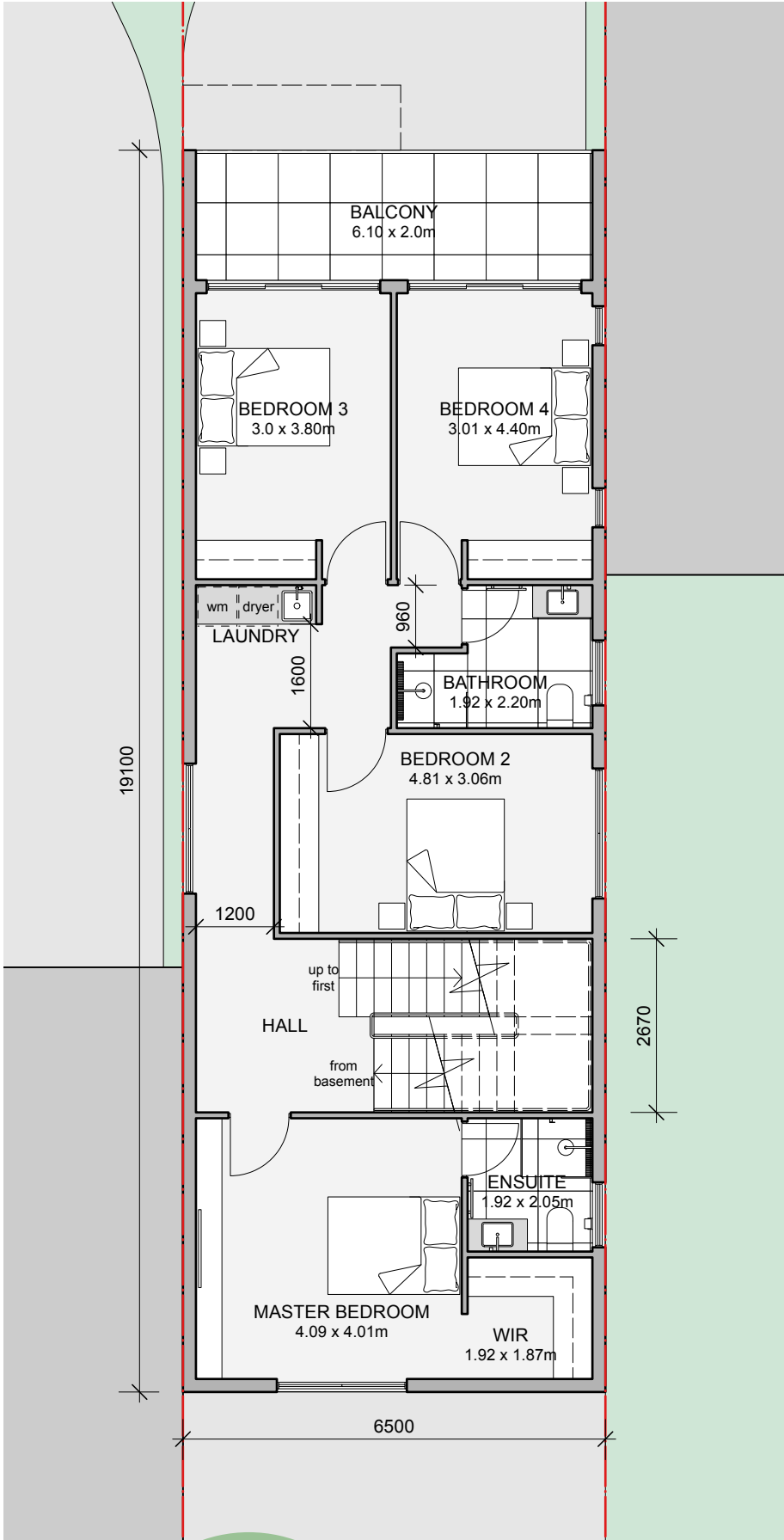
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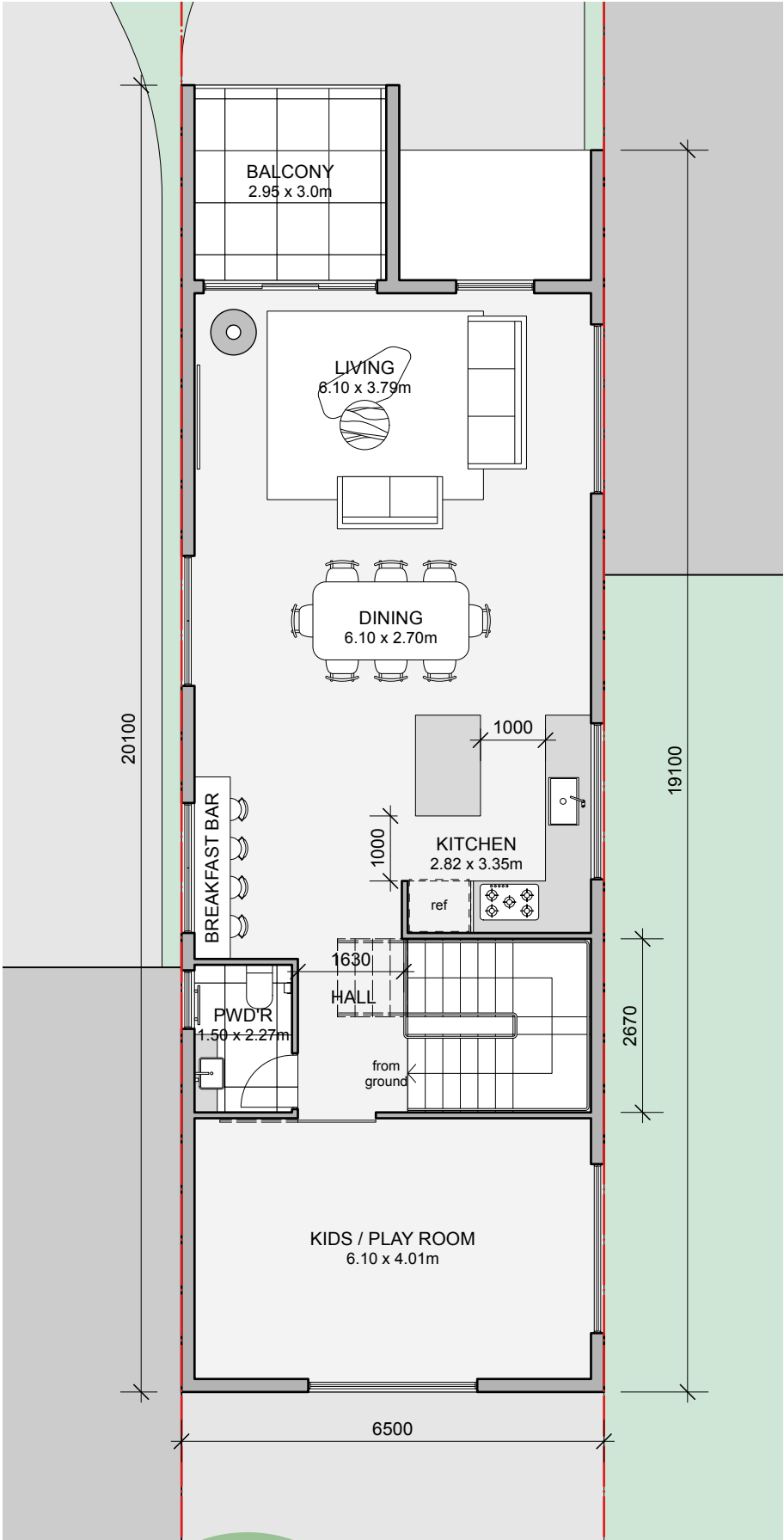
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BASEMENT



GROUND FLOOR



FIRST FLOOR

PROPOSED MULTI-UNIT DWELLING
(TOWNHOUSES) FLOOR PLANS
1.100

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED MULTI-UNIT DWELLING
(TOWNHOUSES) FLOOR PLANS

DRAWING NUMBER

PL 24

SCALE

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SINGLE DWELLING LOT DESIGN GUIDELINES

SITE RESPONSE

ORIENTATION AND SOLAR ACCESS

- Where possible, dwellings should be sited so that living areas and private open spaces face north in order to maximise solar efficiency.
- Only one dwelling is permitted per lot.
- Dual occupancy and further subdivision not allowed.

BUILDING SETBACKS

- Building envelopes have been prepared for each lot and can be found on the Plan of Subdivision. These envelopes specify the area where a building can be sited on the lot, indicating setback requirements and permitted encroachments.

The following setbacks will generally be required:

(DWELLINGS OVER 350 s.qm)

- Front boundary: Dwelling must be setback at least 8.0m. Porches, verandahs and pergolas not exceeding 3.6m in height may encroach into the 8.0m setback.
- Corner boundary: Dwelling must be setback at least 2.0m.
- Rear boundary: Dwelling must be setback at least 4.0m. Eaves, fascia and gutter may encroach into front, side and rear setbacks.

(DWELLINGS UNDER 350 s.qm)

- Front boundary: Dwelling must be setback at least 4.0m. Porches, verandahs and pergolas not exceeding 3.6m in height may encroach into the 4.0m setback.
- Corner boundary: Dwelling must be setback at least 2.0m.
- Rear boundary: Dwelling must be setback at least 2.0m. Eaves, fascia and gutter may encroach into front, side and rear setbacks.

ARCHITECTURAL CHARACTER

FACADE DESIGN

- The design should reflect the architectural character of the surrounding existing Talbingo township.
- Front elevations must incorporate windows and other features (such as verandahs, projections, varying roof form and materials) to sufficiently address the street.
- Façade designs must generally reflect a contemporary theme. Overly traditional façades will not be permitted.



ROOF DESIGN

- Only flat roofs OR mono pitched roofs or are permitted.
- Roofs must be constructed from non-reflective corrugated Colorbond or roof tiles in a flat/slim line profile.



PROPOSED SINGLE DWELLING
DESIGN GUIDELINES

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED SINGLE DWELLING
DESIGN GUIDELINES

DRAWING NUMBER

PL 25

SCALE

NOT TO SCALE

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SINGLE DWELLING LOT DESIGN GUIDELINES

EXTERNAL MATERIALS AND COLOURS

External walls should be constructed from the following materials in colours that reflect **cool natural neutral tones**:

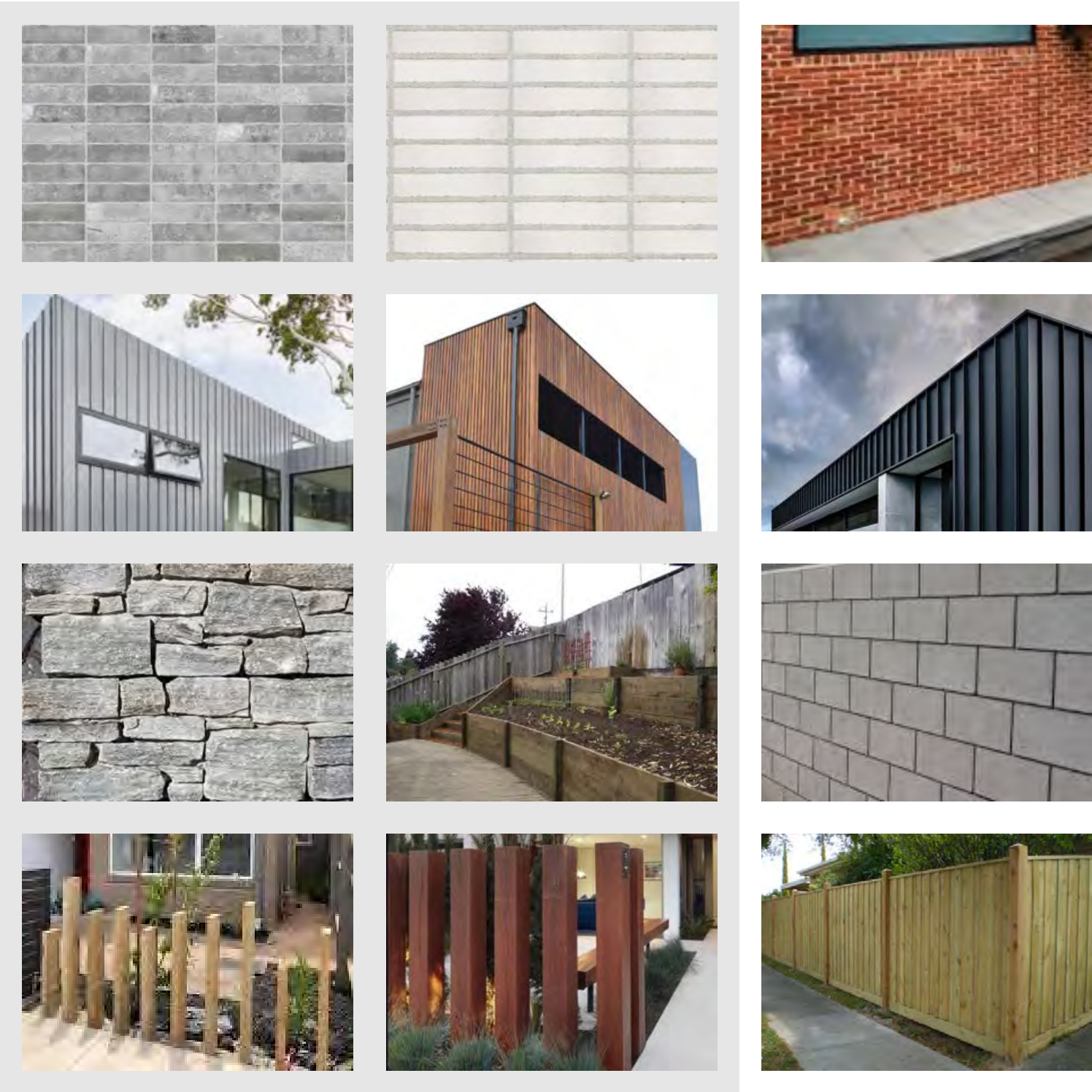
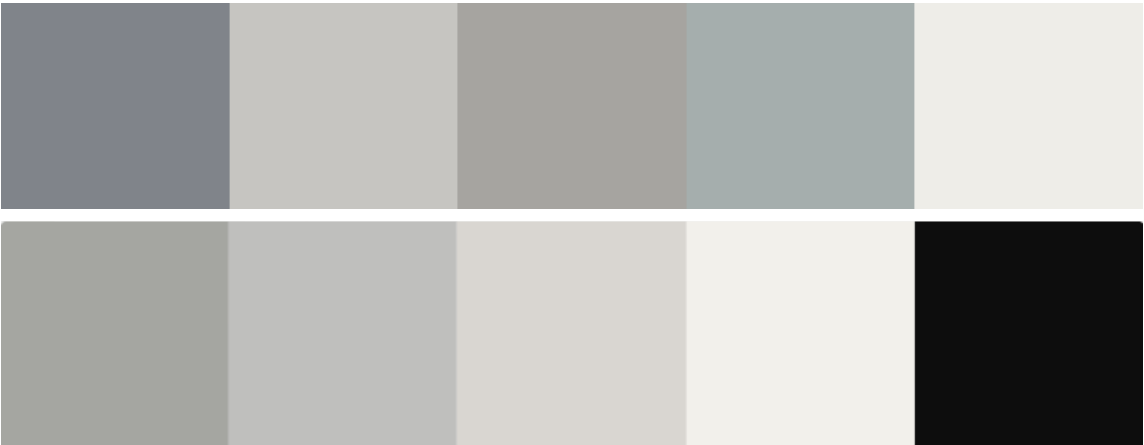
- Face brickwork:
 - Stack bond only;
 - Linear Bricks (eg. non standard sizing).
- Weatherboards/cement composite materials (such as Scyon cladding);
- Timber cladding;
- Selective use of stone, tile or corrugated Colorbond cladding.

- Other materials not permitted:
- Masonry - eg. concrete blocks;
 - Brick - eg. traditional red.

- Retaining walls:
- Timber or stone permitted - eg. no concrete blocks.

- Fences:
- The use of fences is not recommended. Only use post fencing 200mm apart permitted only when required.

An external palette which adopts natural, neutral colours is required.
Reliance on external colours which are bright or draw visual attention to the building (as a result of its contrast to the surrounding environment) shall not be supported.



PROPOSED SINGLE DWELLING
DESIGN GUIDELINES

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PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED SINGLE DWELLING
DESIGN GUIDELINES

DRAWING NUMBER

PL 26

SCALE

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SINGLE DWELLING LOT DESIGN GUIDELINES

DRIVEWAYS

Driveways shall be constructed from natural or coloured concrete as a minimum standard. Pavers or exposed aggregate are encouraged.

Impermeable surfaces (e.g.compacted toppings, crushed rock,) and brick pavers are not permitted.

Driveways must taper to generally match the crossover width and must be setback at least 300mm from the closest side boundary to allow for a landscaping strip.

Driveways must be constructed prior to occupancy.



LANDSCAPING

As a result of the previous land use, the development site is mostly cleared and the existing vegetation is predominantly grasses with scattered remnant native trees.

The aim of the development is bring back the original features of the landscape which is reflected in the surrounding areas and national parks. Therefore, all landscape proposed to be native species with 50% indigenous planting.



PROPOSED SINGLE DWELLING
DESIGN GUIDELINES

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PROJECT AND LOCATION

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Talbingo NSW

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04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED SINGLE DWELLING
DESIGN GUIDELINES

DRAWING NUMBER

PL 27

SCALE

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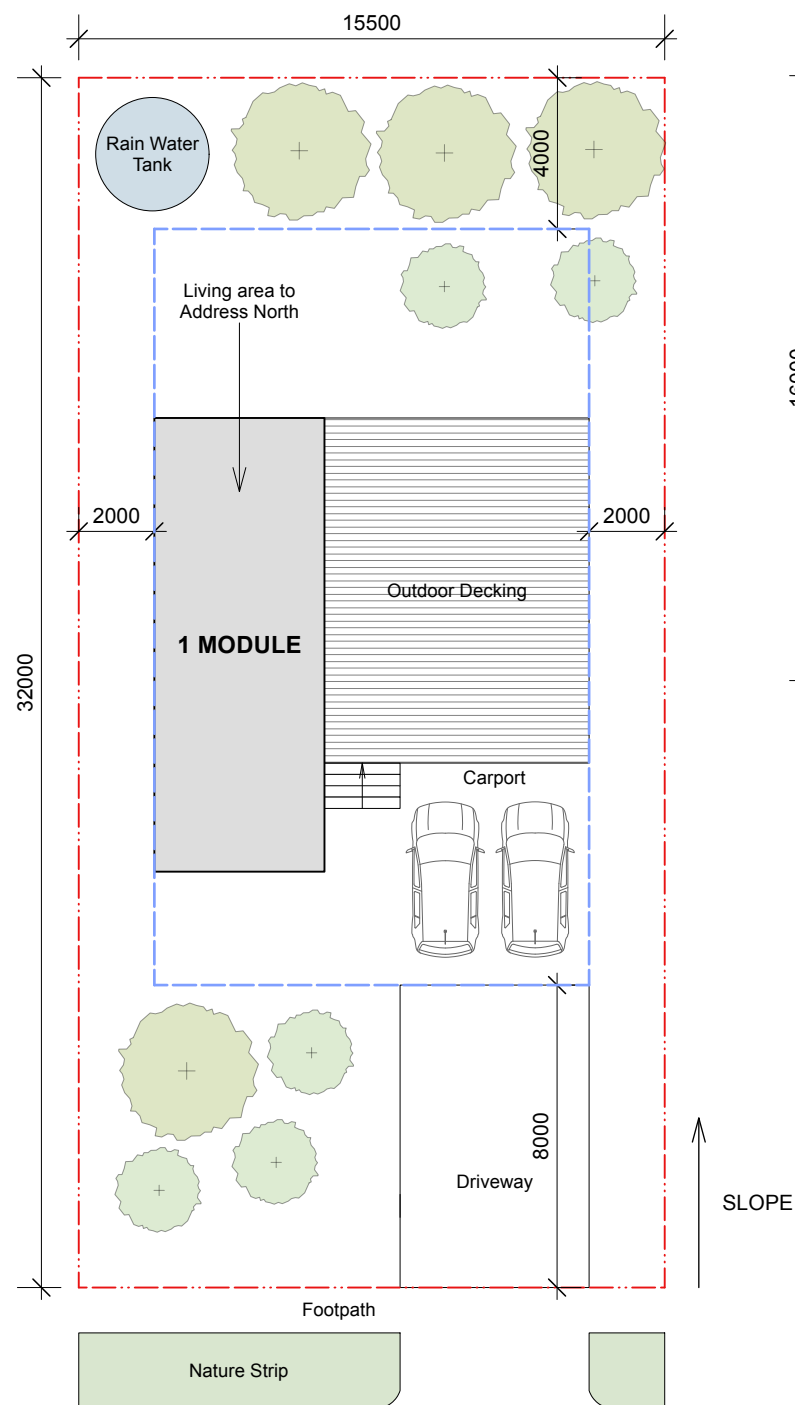
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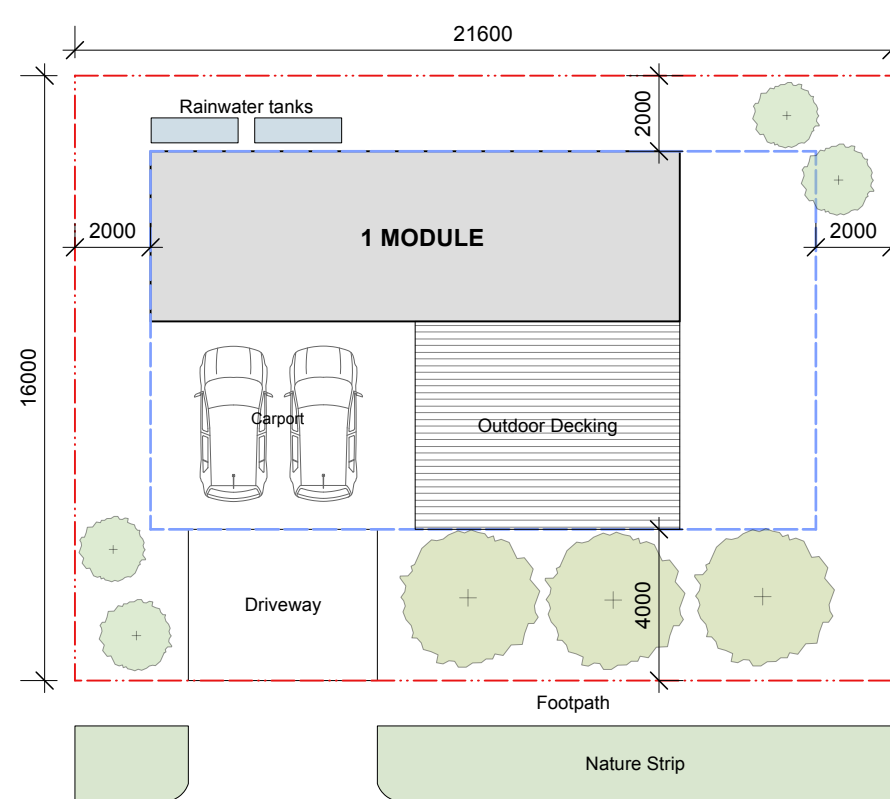
LOT SIZE 500 sqm



FOR LARGER SIZED LOTS

MAX. BUILDING HEIGHT 8.5m
 MIN. FRONT SETBACK 8.0m
 MIN. REAR SETBACK 4.0m
 MIN. SIDE SETBACK 2.0m
 CEILING HEIGHT MIN. 2.7m

LOT SIZE 350 sqm



FOR SMALL SIZED LOTS

MAX. BUILDING HEIGHT 8.5m
 MIN. FRONT SETBACK 4.0m
 MIN. REAR SETBACK 2.0m
 MIN. SIDE SETBACK 2.0m
 CEILING HEIGHT MIN. 2.7m

FLOOR PLAN

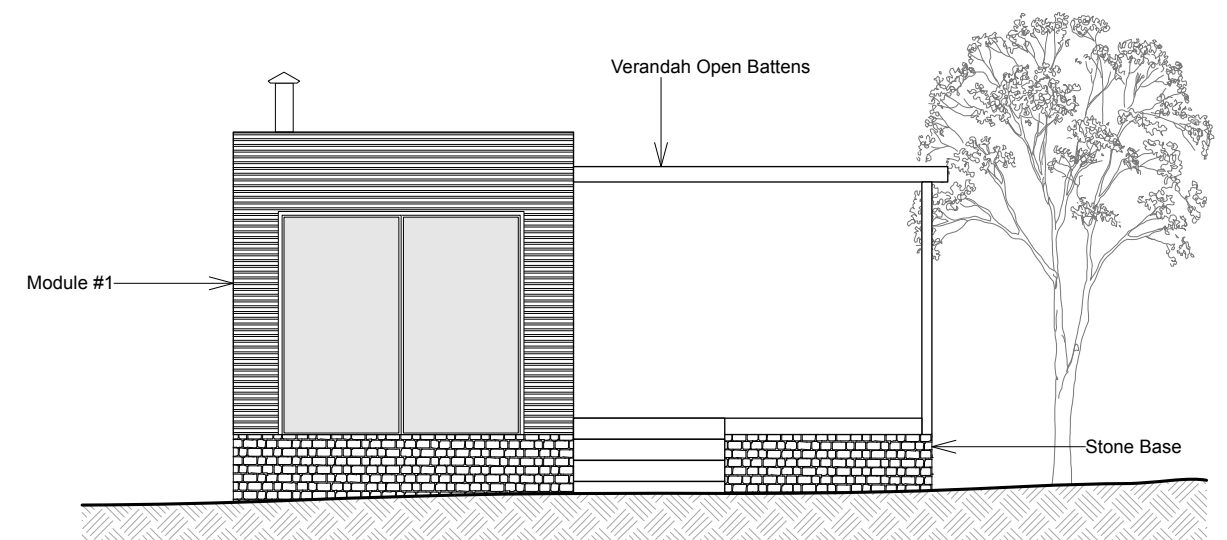
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FLOOR PLAN

1.200



1 - 2 MODULE REFERENCE

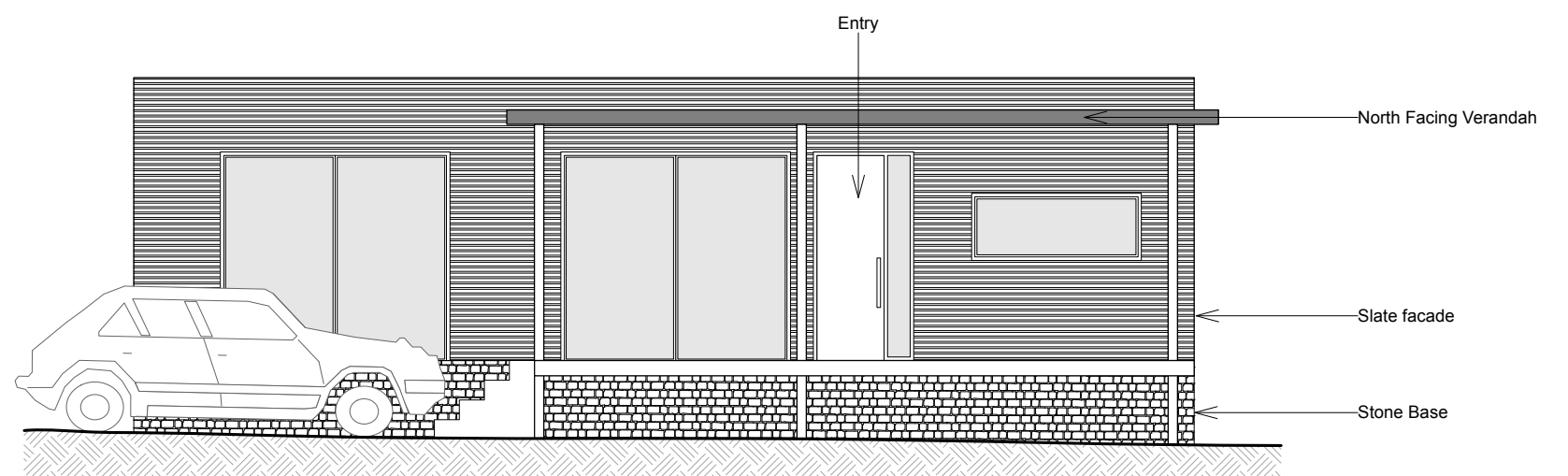


ELEVATION

1.100

ELEVATION

1.100



PROPOSED SINGLE DWELLING
 DESIGN GUIDELINES
 SMALL MODULE OPTION (1 MODULE)

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

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DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED SINGLE DWELLING
 DESIGN GUIDELINES
 SMALL MODULE OPTION (1 MODULE)

DRAWING NUMBER

PL 28

SCALE

1.200 | 1.100

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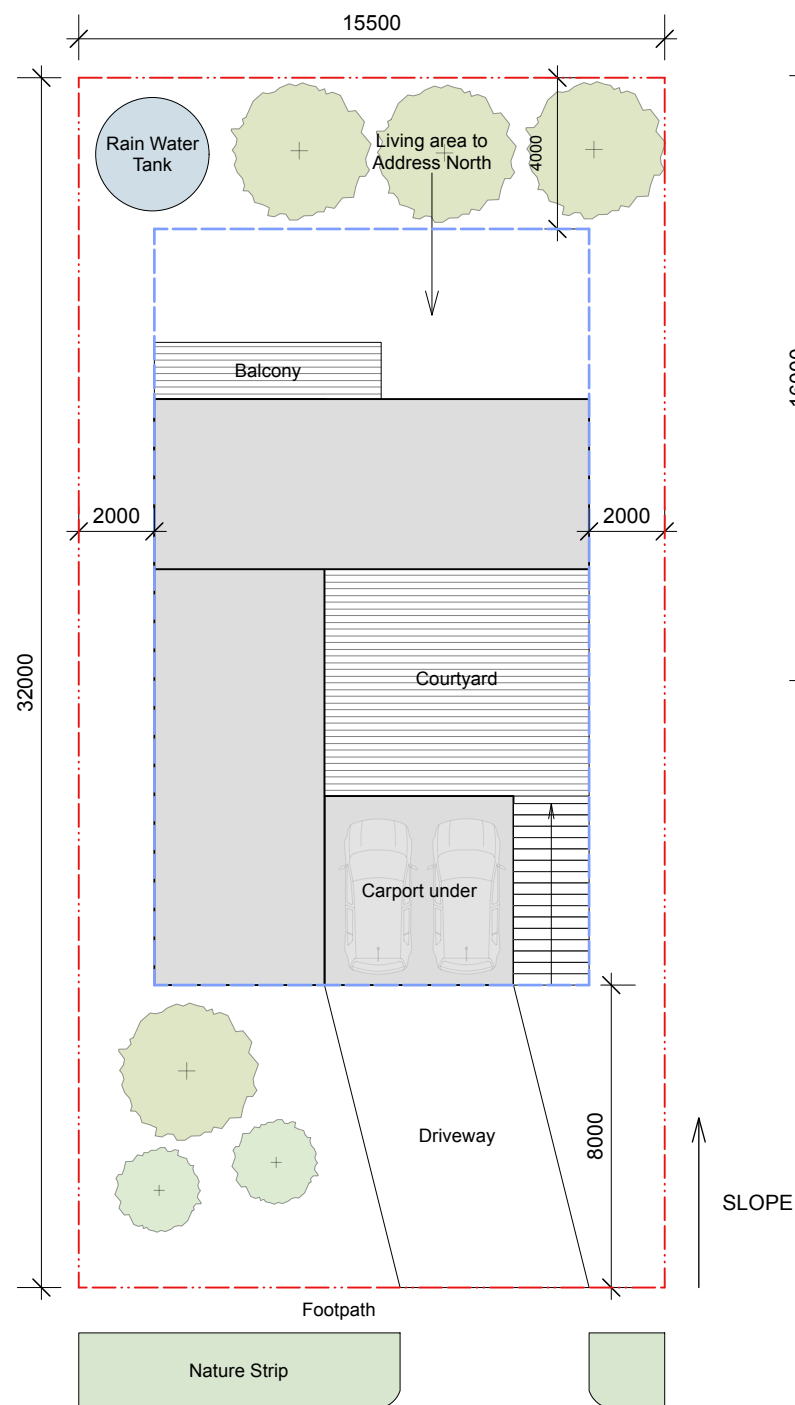
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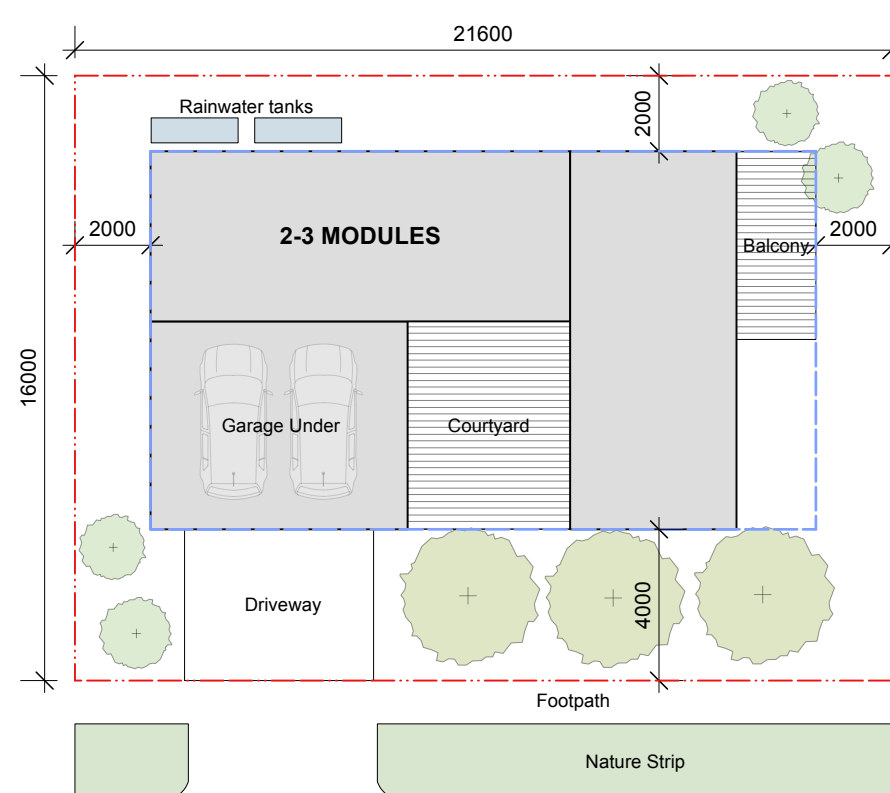
LOT SIZE 500 sqm



FOR LARGER SIZED LOTS

MAX. BUILDING HEIGHT 8.5m
 MIN. FRONT SETBACK 8.0m
 MIN. REAR SETBACK 4.0m
 MIN. SIDE SETBACK 2.0m
 CEILING HEIGHT MIN. 2.7m

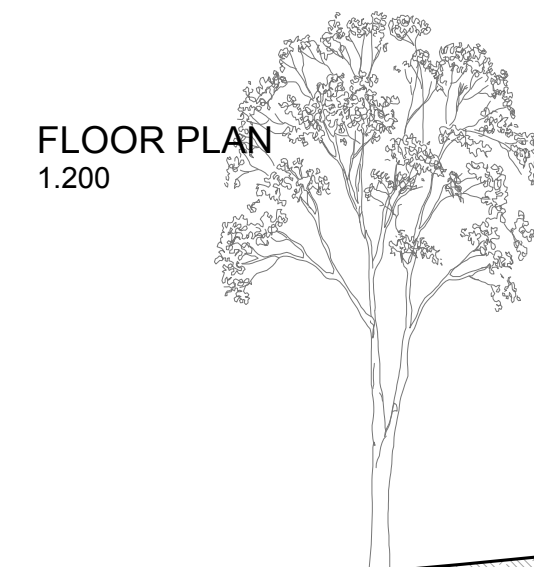
LOT SIZE 350 sqm



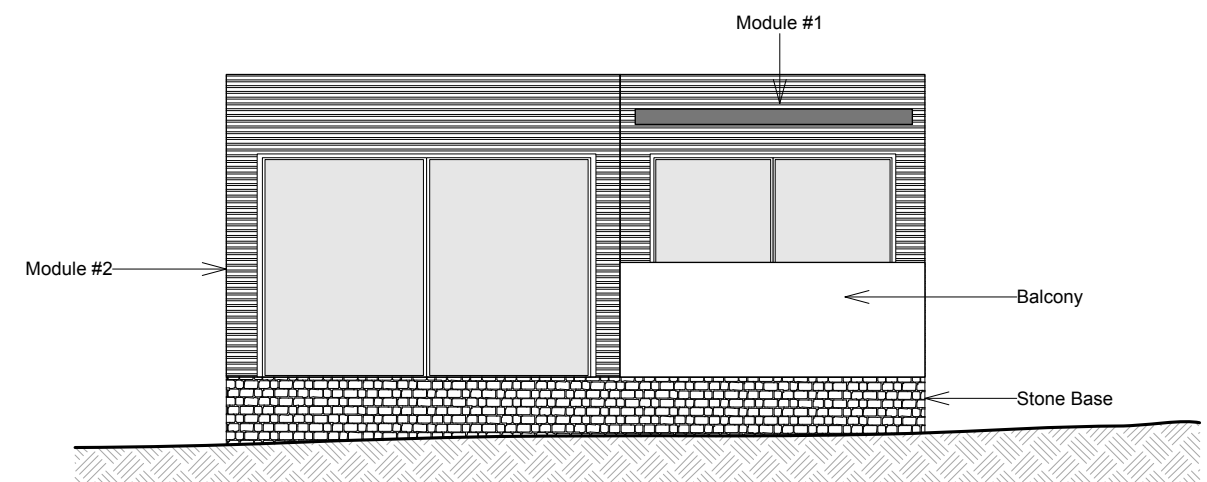
FOR SMALL SIZED LOTS

MAX. BUILDING HEIGHT 8.5m
 MIN. FRONT SETBACK 4.0m
 MIN. REAR SETBACK 2.0m
 MIN. SIDE SETBACK 2.0m
 CEILING HEIGHT MIN. 2.7m

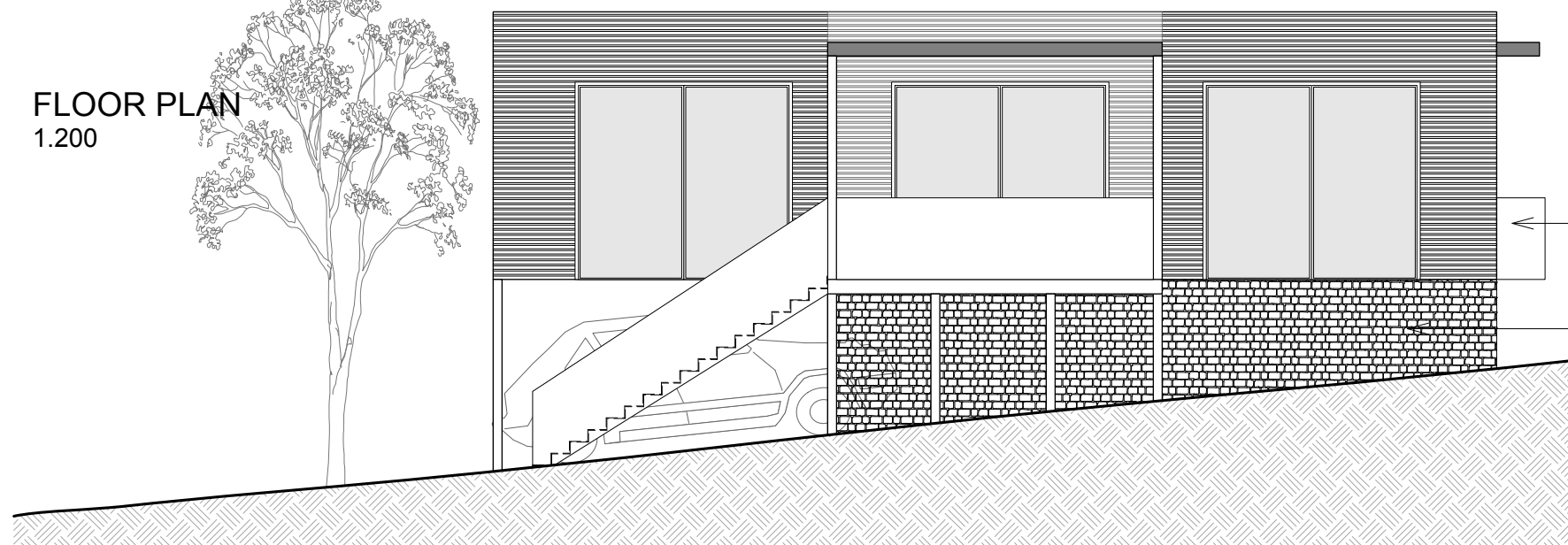
FLOOR PLAN 1.200



FLOOR PLAN 1.200



ELEVATION 1.100



ELEVATION 1.100

PROPOSED SINGLE DWELLING
 DESIGN GUIDELINES
 MEDIUM MODULE OPTION (2 - 3 MODULES)

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PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
 Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED SINGLE DWELLING
 DESIGN GUIDELINES
 MEDIUM MODULE OPTION (2 - 3 MODULES)

DRAWING NUMBER

PL 29

SCALE

1.200 | 1.100

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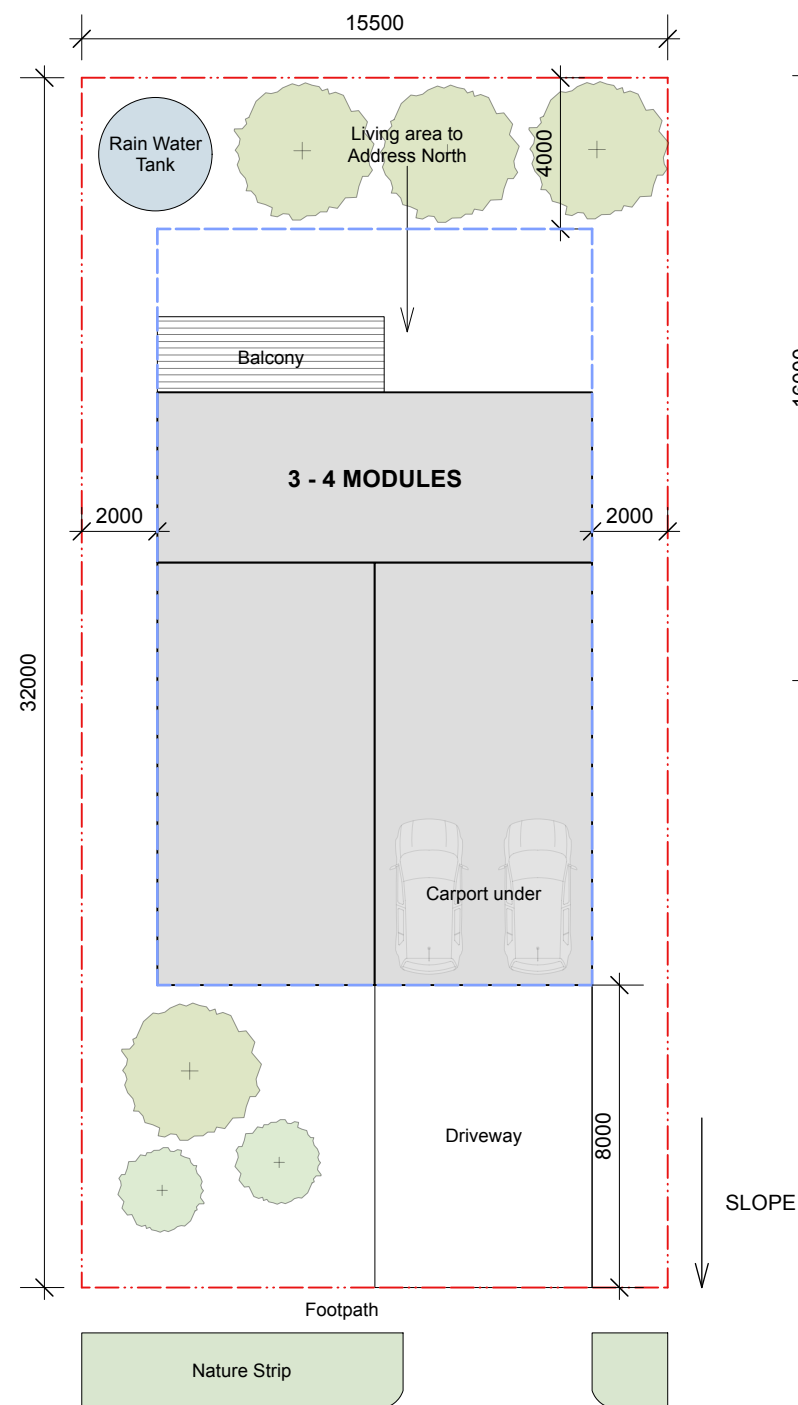
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 ARCHITECT:
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 NSW 8367
 UK 072397E

ABN 96 630 851 930



2 - 3 MODULE REFERENCE

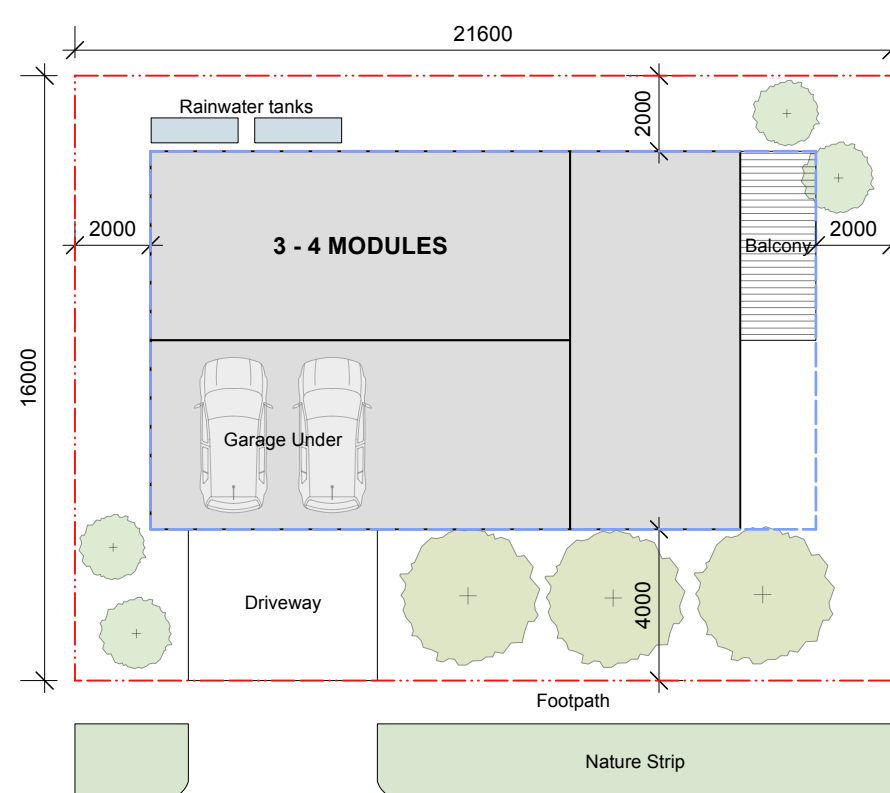
LOT SIZE 500 sqm



FOR LARGER SIZED LOTS

MAX. BUILDING HEIGHT 8.5m
 MIN. FRONT SETBACK 8.0m
 MIN. REAR SETBACK 4.0m
 MIN. SIDE SETBACK 2.0m
 CEILING HEIGHT MIN. 2.7m

LOT SIZE 350 sqm



FOR SMALL SIZED LOTS

MAX. BUILDING HEIGHT 8.5m
 MIN. FRONT SETBACK 4.0m
 MIN. REAR SETBACK 2.0m
 MIN. SIDE SETBACK 2.0m
 CEILING HEIGHT MIN. 2.7m

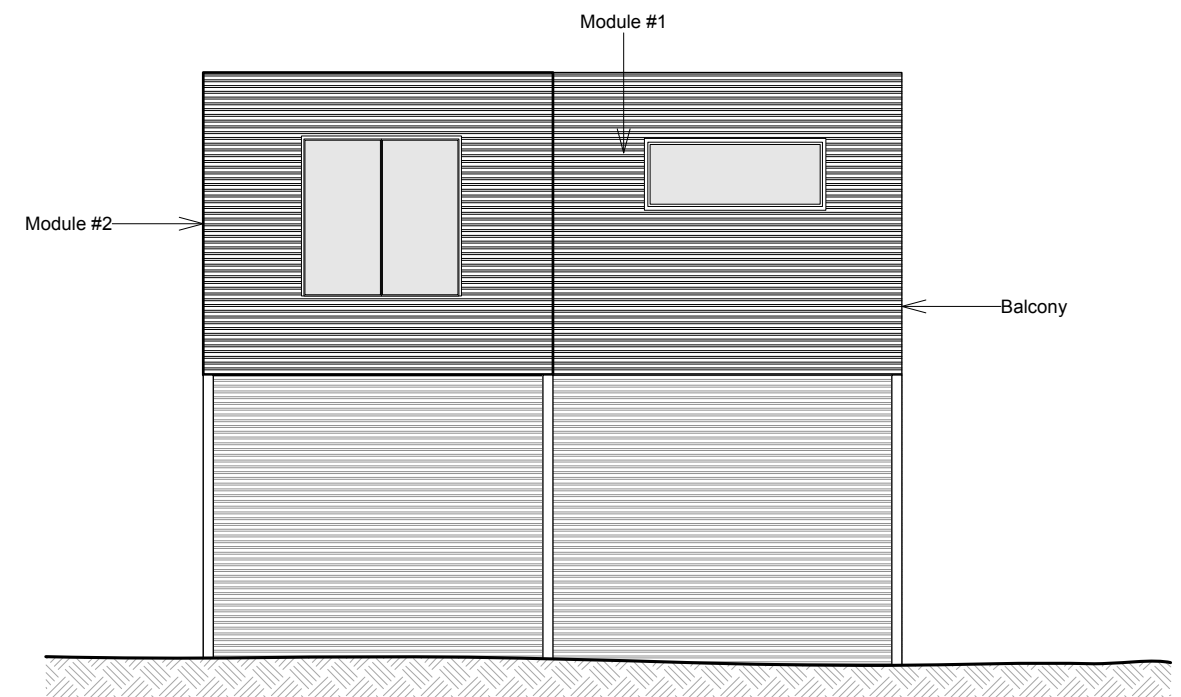
FLOOR PLAN 1.200

ELEVATION 1.100

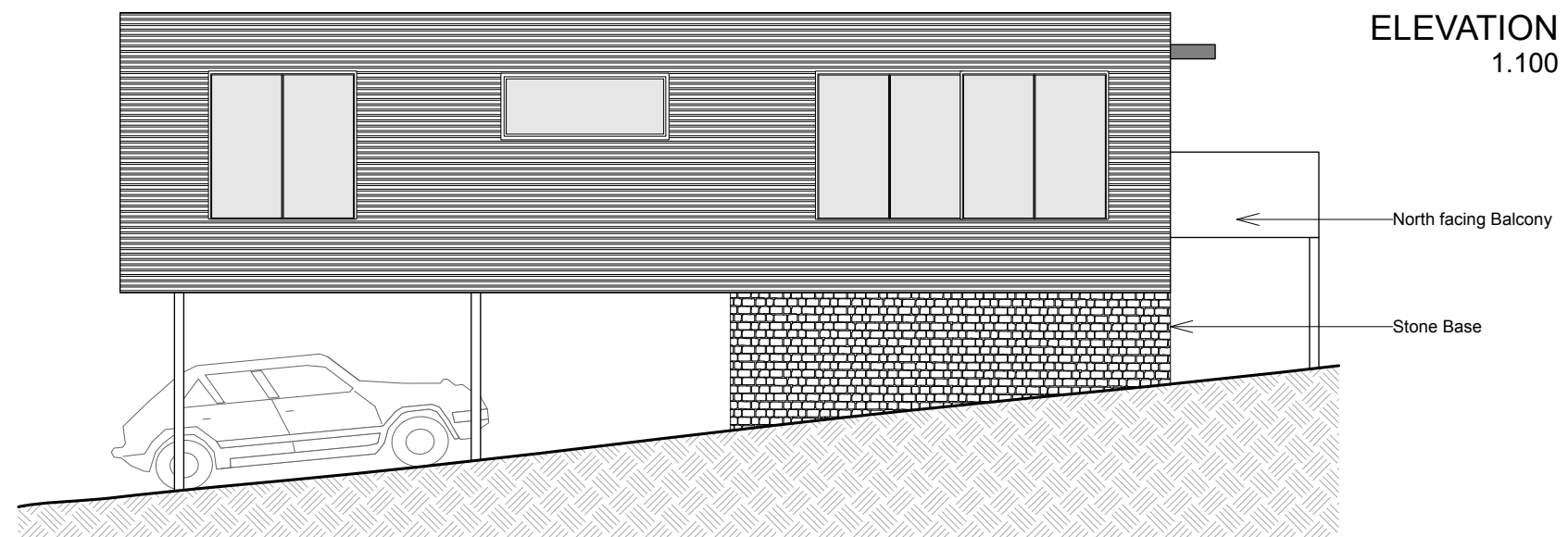
FLOOR PLAN 1.200



3 - 4 MODULE REFERENCE



ELEVATION 1.100



PROPOSED SINGLE DWELLING
 DESIGN GUIDELINES
 MEDIUM MODULE OPTION (3 - 4 MODULES)

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
 Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED SINGLE DWELLING
 DESIGN GUIDELINES
 MEDIUM MODULE OPTION (3 - 4 MODULES)

DRAWING NUMBER

PL 30

SCALE

1.200 | 1.100

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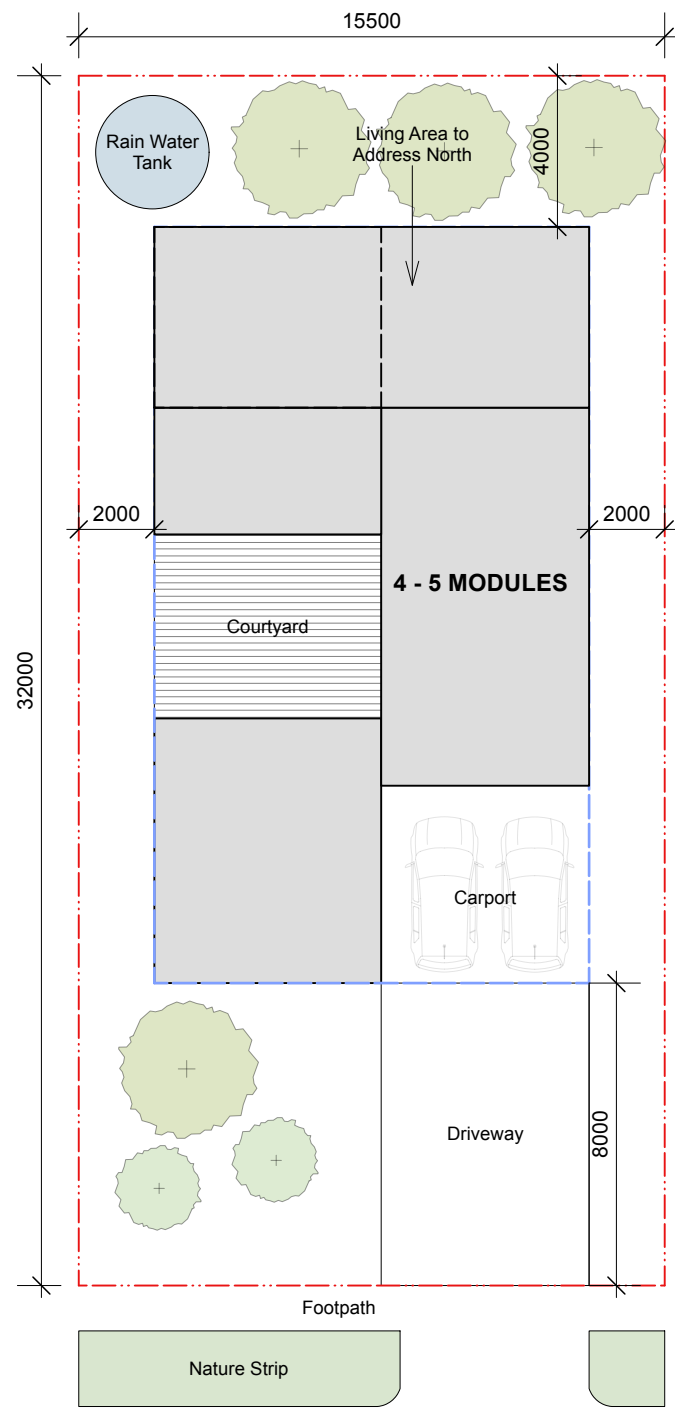
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 UK 072397E

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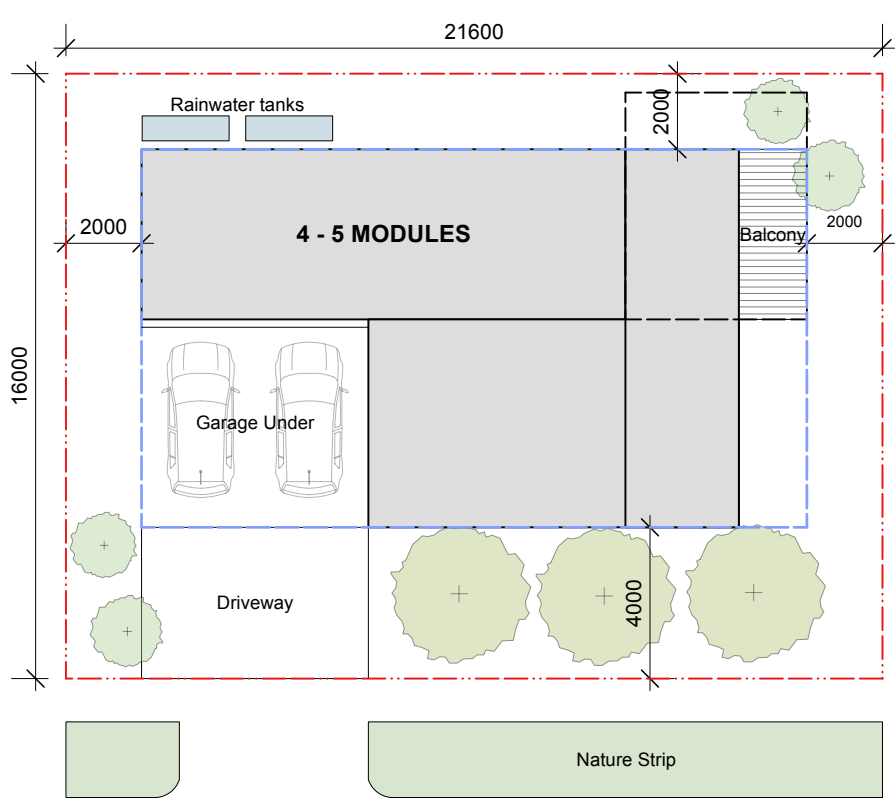
LOT SIZE 500 sqm



FOR LARGER SIZED LOTS

MAX. BUILDING HEIGHT 8.5m
MIN. FRONT SETBACK 8.0m
MIN. REAR SETBACK 4.0m
MIN. SIDE SETBACK 2.0m
CEILING HEIGHT MIN. 2.7m

LOT SIZE 350 sqm



FOR SMALL SIZED LOTS

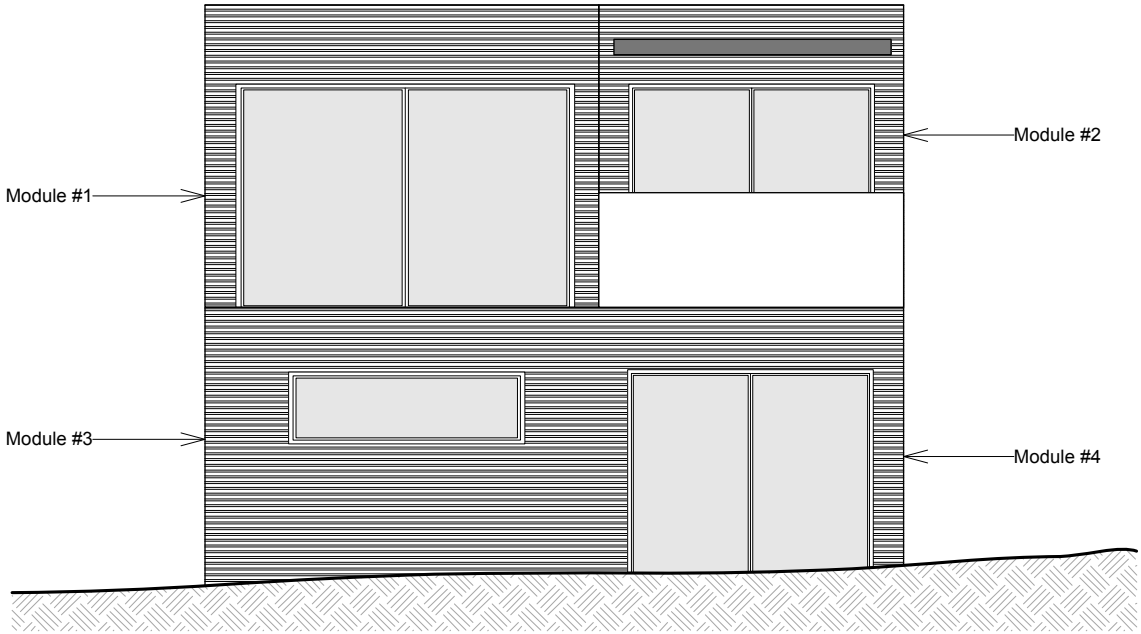
MAX. BUILDING HEIGHT 8.5m
MIN. FRONT SETBACK 4.0m
MIN. REAR SETBACK 2.0m
MIN. SIDE SETBACK 2.0m
CEILING HEIGHT MIN. 2.7m

FLOOR PLAN
1.200

FLOOR PLAN
1.200

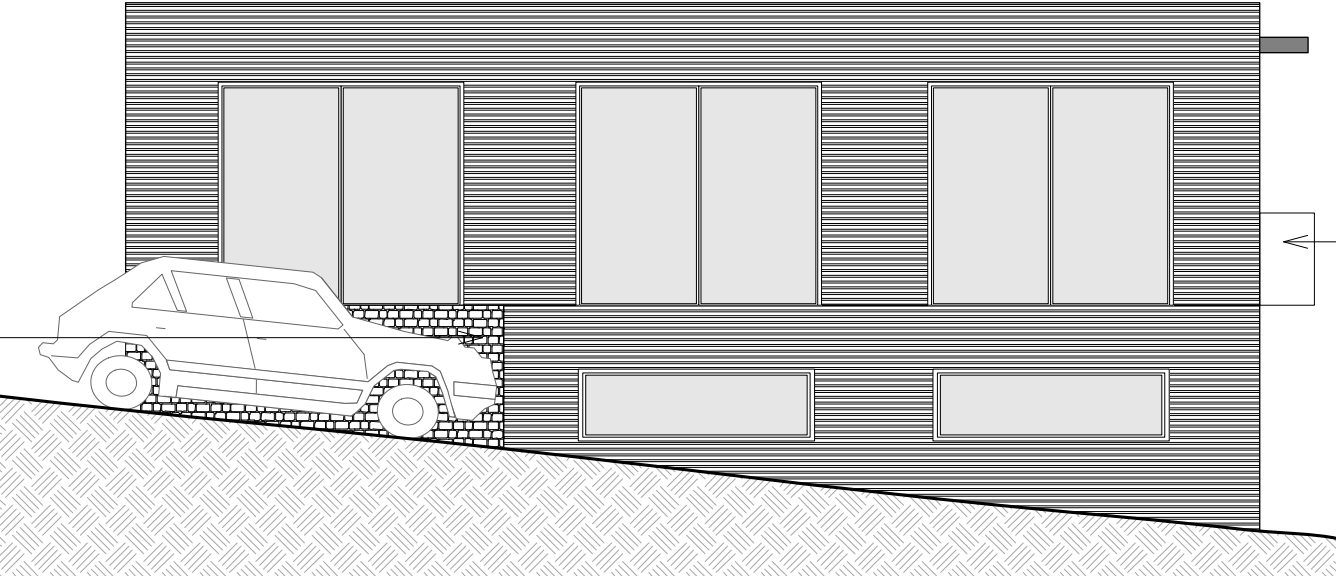


4 - 5 MODULE REFERENCE



ELEVATION
1.100

ELEVATION
1.100



PROPOSED SINGLE DWELLING
DESIGN GUIDELINES
MEDIUM MODULE OPTION (4 - 5 MODULES)
ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED SINGLE DWELLING
DESIGN GUIDELINES
MEDIUM MODULE OPTION (4 - 5 MODULES)

DRAWING NUMBER

PL 31

SCALE

1.200 | 1.100

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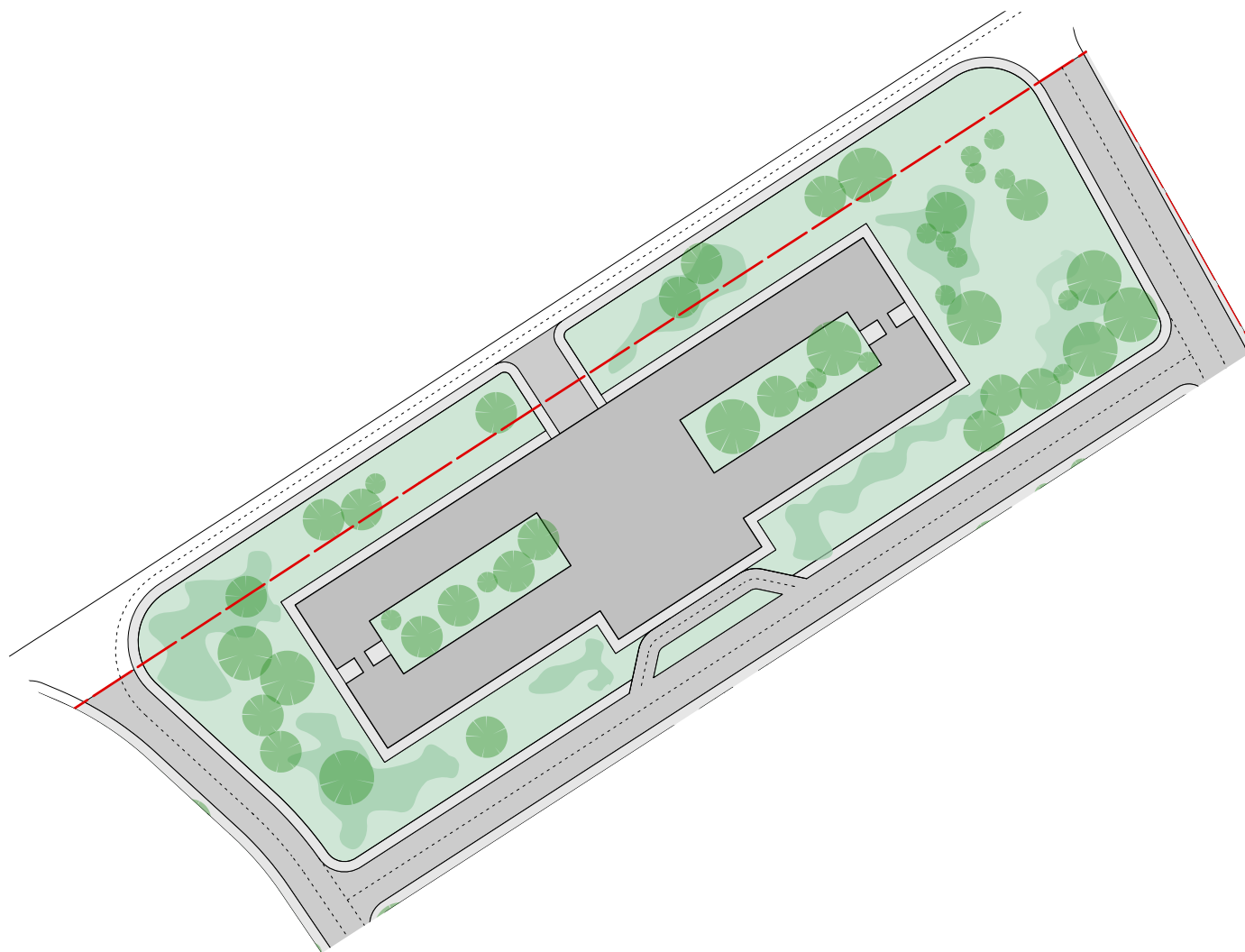
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Lot 13 is the designated Hotel site, comprising 25,929 sq.m fronting Miles Franklin Drive and the Jounama Pondage. The site is accessible from both front and rear roads. The site will support a three level hotel with sub-basement carparking.

PROPOSED HOTEL



View from Lake and Landing Strip

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED HOTEL

DRAWING NUMBER

PL 32

SCALE

NTS

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PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED HOTEL IMAGE 01

DRAWING NUMBER

PL 33

SCALE

NTS

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PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED HOTEL IMAGE 03

DRAWING NUMBER

PL 35

SCALE

NTS

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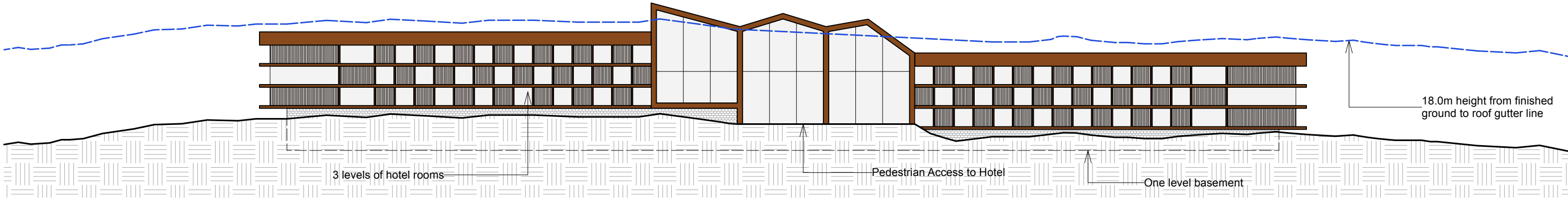
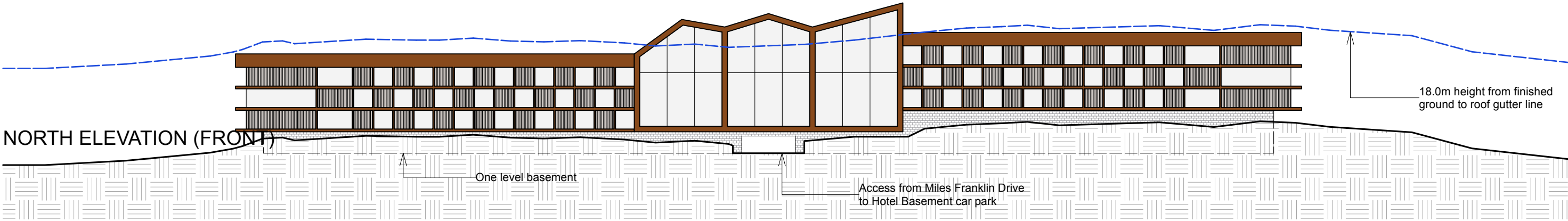
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- MATERIALS AND FINISHES
- Ⓐ

CORTEN STEEL CLADDING
- Ⓑ

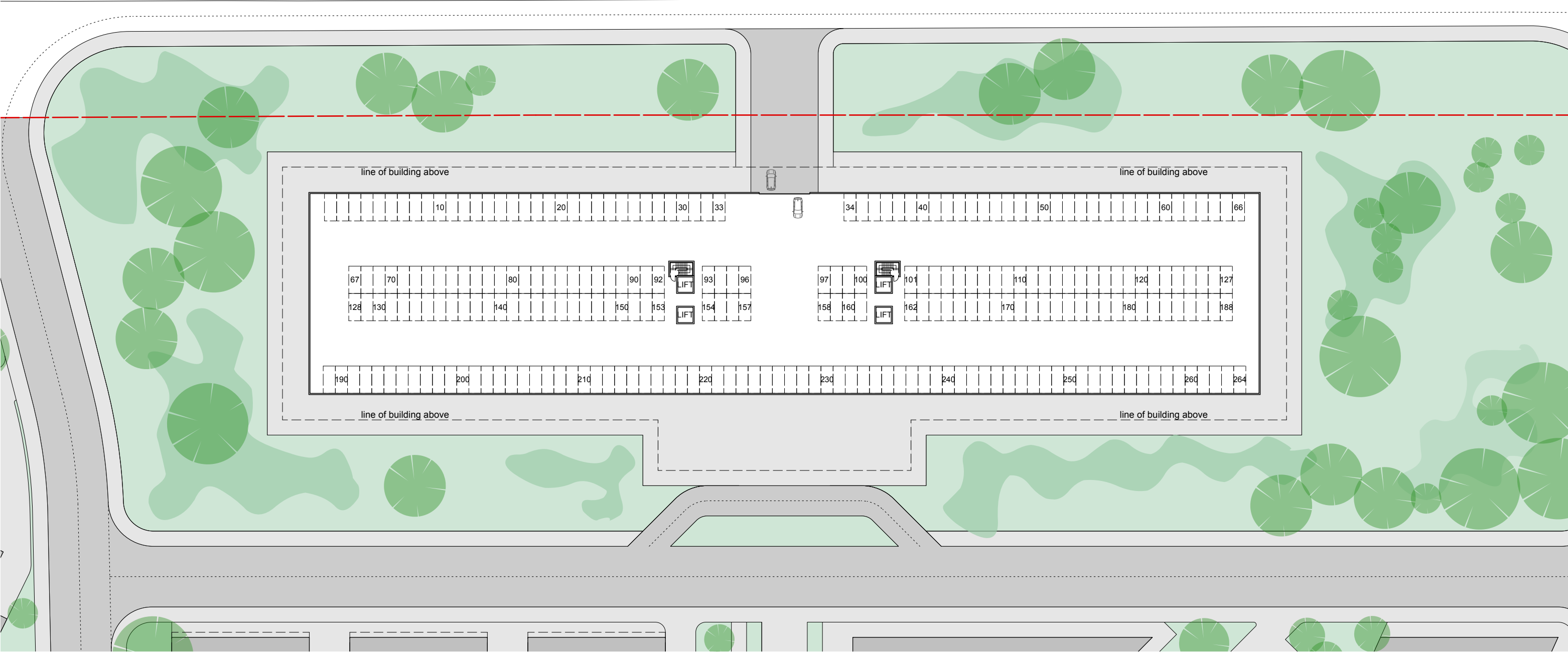
THERMAL TREATED TIMBER SLATS
- Ⓒ

NATURAL HONED RIVERSTONE FACING



Miles Franklin Drive

Miles Franklin Drive



PROPOSED HOTEL GARAGE
BASEMENT FLOOR PLAN
1.750

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION
LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE
04 APR 23

DRAWING STAGE
MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION
PROPOSED HOTEL GARAGE
BASEMENT FLOOR PLAN

DRAWING NUMBER
PL 37

SCALE
1.750

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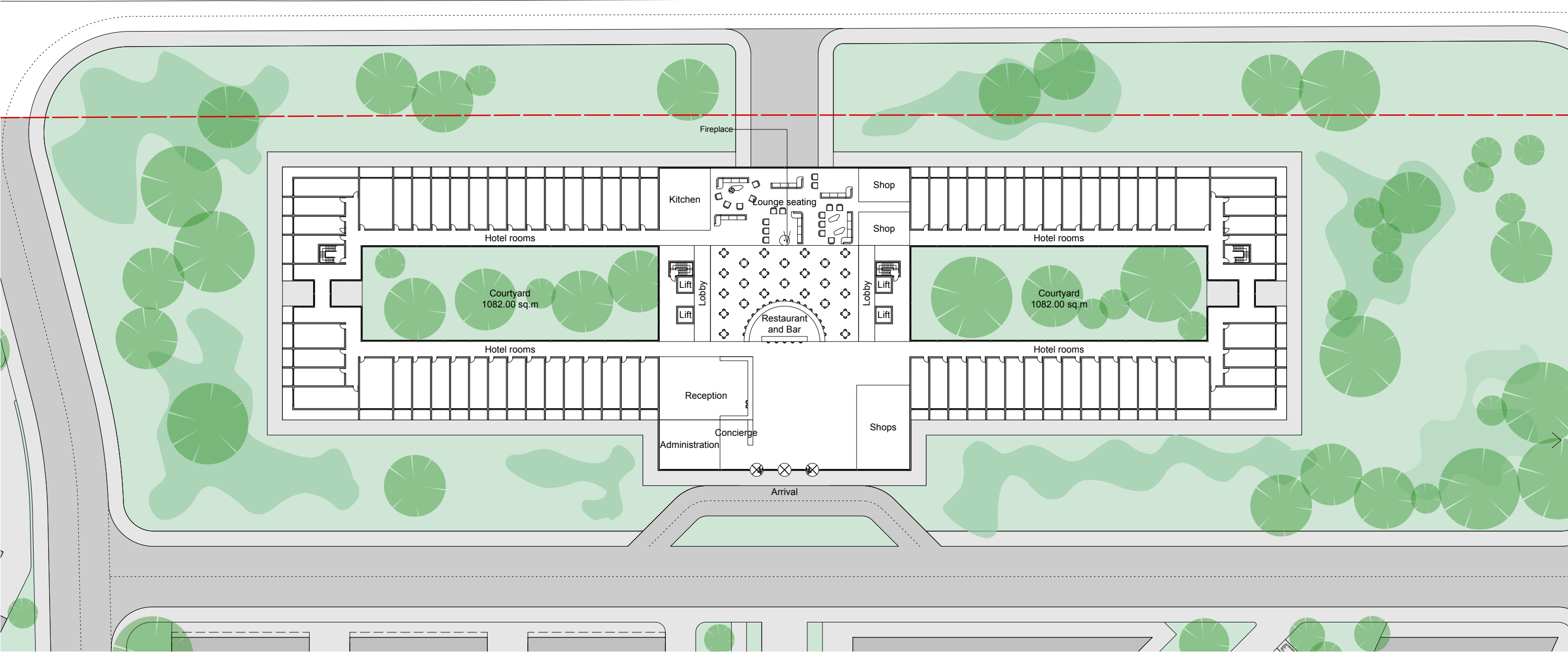
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ABN 96 630 851 930

Miles Franklin Drive

Miles Franklin Drive



PROPOSED HOTEL GROUND FLOOR PLAN
1.750

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED HOTEL GROUND
FLOOR PLAN

DRAWING NUMBER

PL 38

SCALE

1.750

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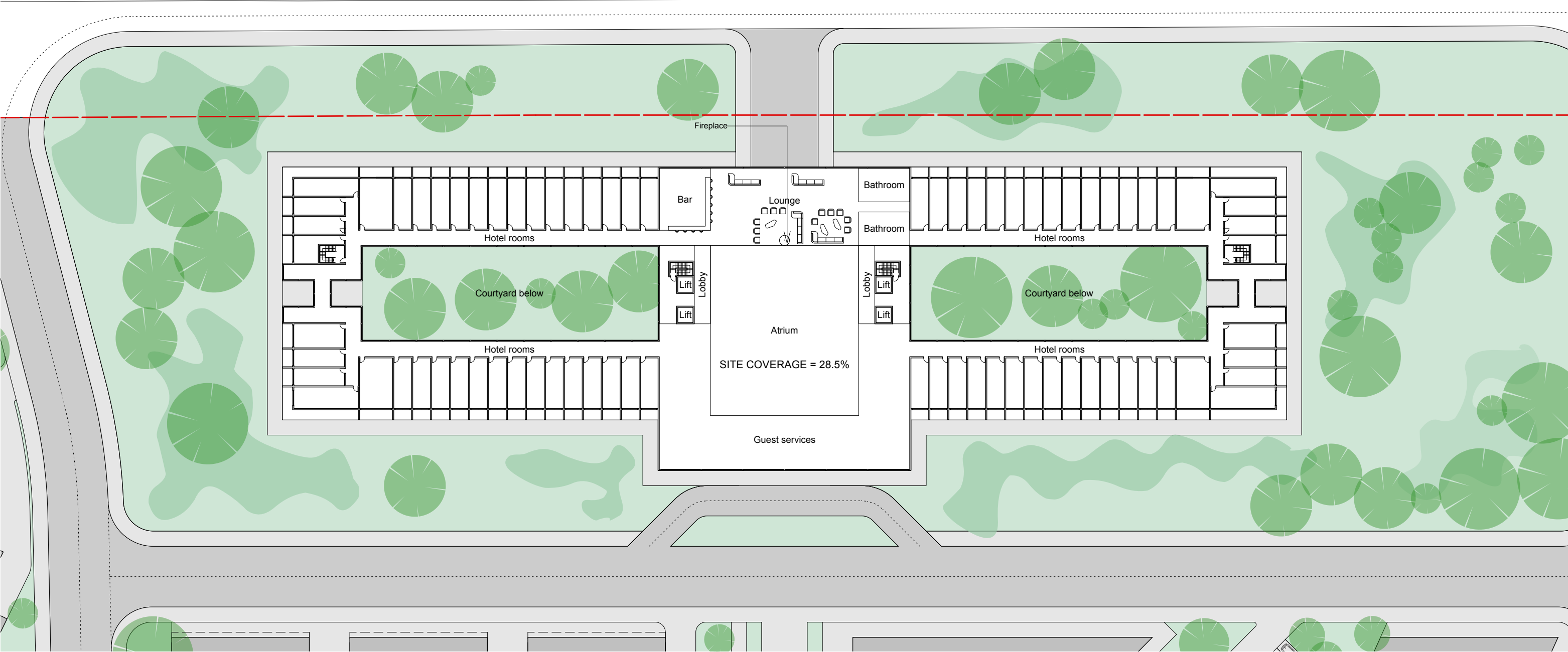
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ABN 96 630 851 930

Miles Franklin Drive

Miles Franklin Drive



PROPOSED HOTEL FIRST AND SECOND
FLOOR PLANS
1.750

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED HOTEL FIRST AND SECOND
FLOOR PLANS

DRAWING NUMBER

PL 39

SCALE

1.750

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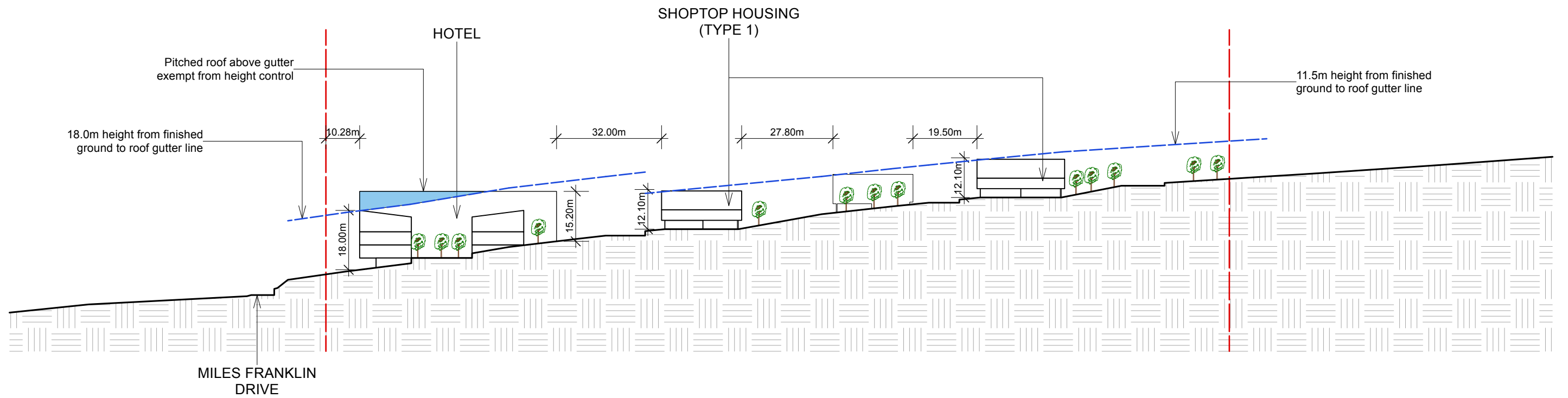
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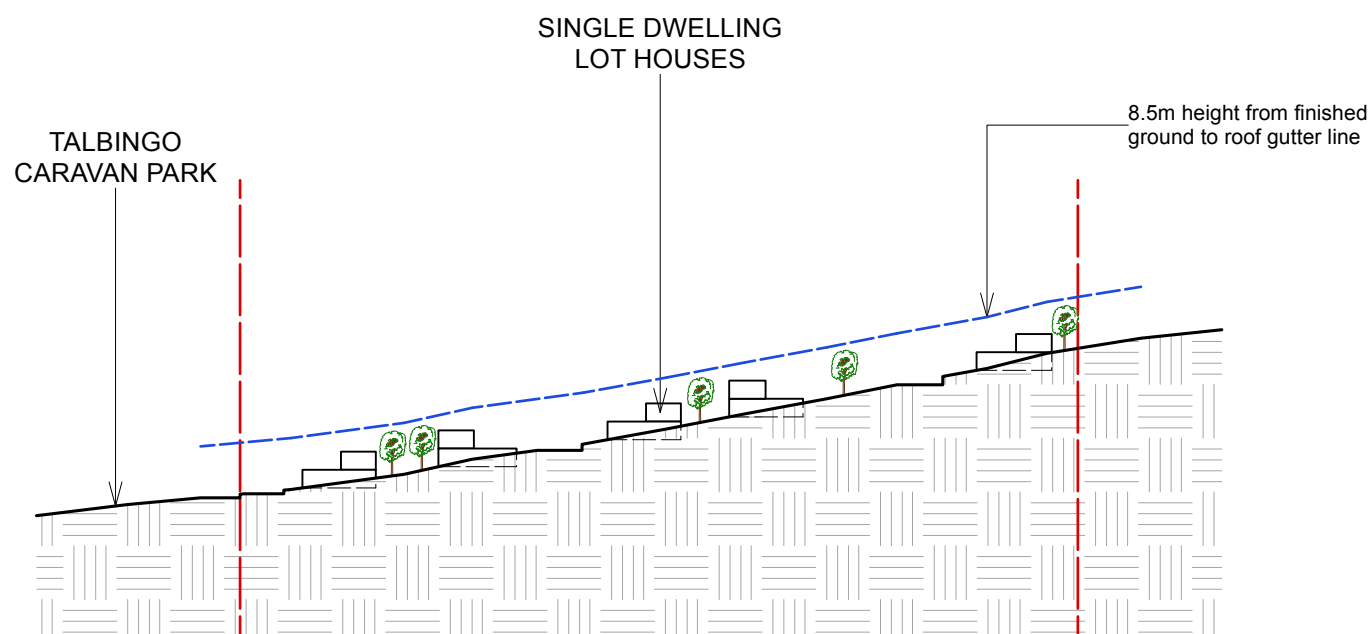
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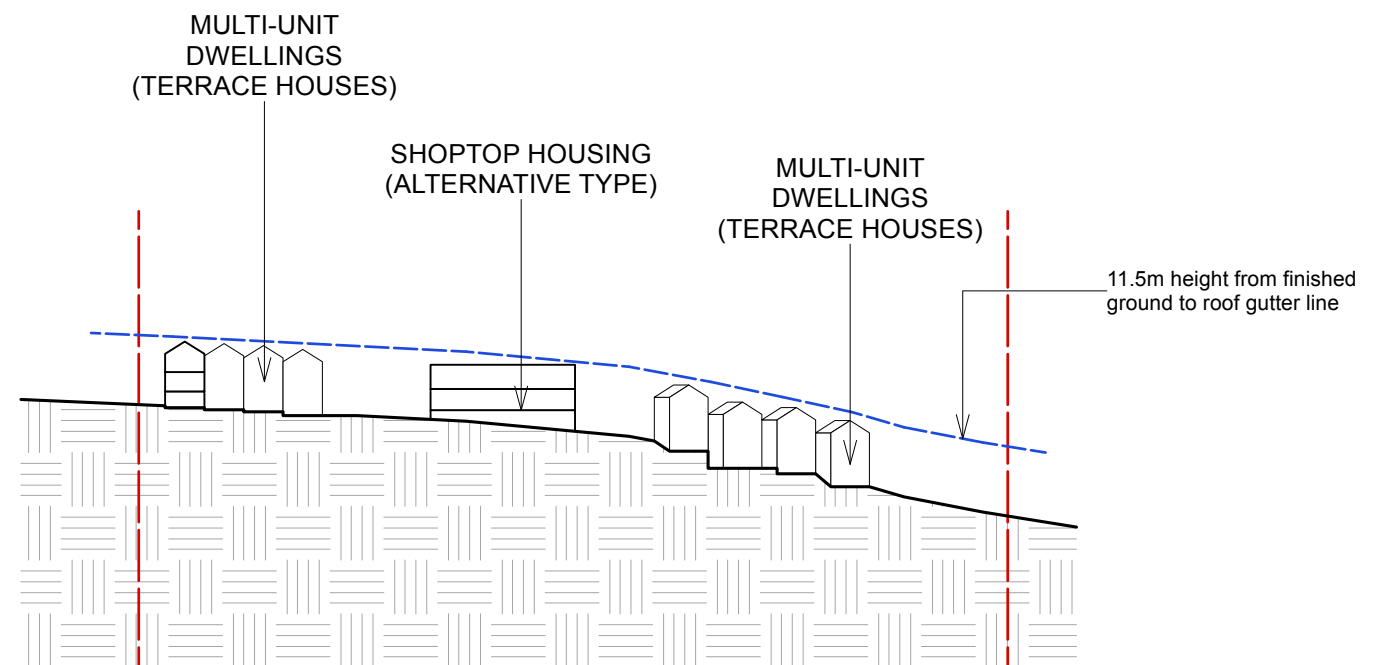
ABN 96 630 851 930



SECTION S1



SECTION S2



SECTION S3

PROPOSED SITE SECTIONS

1.2500

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PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

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DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED SITE SECTIONS

DRAWING NUMBER

PL 40

SCALE

1.750

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UK 072397E

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PROPOSED SHADOW DIAGRAMS
21 DECEMBER AT 9AM
1.2500

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION
LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE
04 APR 23

DRAWING STAGE
MASTERPLAN CONCEPT DRAWINGS
DRAWING DESCRIPTION
PROPOSED SHADOW DIAGRAMS
21 DECEMBER AT 9AM

DRAWING NUMBER
SH 01
SCALE
1.2500



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PROPOSED SHADOW DIAGRAMS
21 DECEMBER AT 12PM
1.2500

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED SHADOW DIAGRAMS
21 DECEMBER AT 12PM

DRAWING NUMBER

SH 02

SCALE

1.2500



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PROPOSED SHADOW DIAGRAMS
21 DECEMBER AT 3PM
1.2500

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION
LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW


DATE
04 APR 23

DRAWING STAGE
MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION
PROPOSED SHADOW DIAGRAMS
21 DECEMBER AT 3PM

DRAWING NUMBER
SH 03

SCALE
1.2500

N


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ABN 96 630 851 930



PROPOSED SHADOW DIAGRAMS
21 JUNE AT 9AM
1.2500

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PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED SHADOW DIAGRAMS
21 JUNE AT 9AM

DRAWING NUMBER

SH 04

SCALE

1.2500



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PROPOSED SHADOW DIAGRAMS
21 JUNE AT 12PM
1.2500

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PROJECT AND LOCATION

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Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED SHADOW DIAGRAMS
21 JUNE AT 12PM

DRAWING NUMBER

SH 05

SCALE

1.2500



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PROPOSED SHADOW DIAGRAMS
21 JUNE AT 3PM
1.2500

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive
Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED SHADOW DIAGRAMS
21 JUNE AT 3PM

DRAWING NUMBER

SH 06

SCALE

1.2500



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Site Plus Pty Ltd
PO Box 5104
Wollongong, NSW 2520

206726.00
15 February 2023
P.001.Rev1
KGH

Email: andrew@siteplus.com.au

Attention: Andrew Craddock

Proposal for Preliminary Site Investigation (Contamination)
Proposed Residential Subdivision Development
Lot 35 DP878862, Miles Franklin Drive, Talbingo, NSW

1. Introduction

Following our original proposal dated 19 July 2021 and receipt of your email dated 9 February 2023, Douglas Partners Pty Ltd (DP) is pleased to provide Site Plus Pty Ltd (Site Plus) with our revised proposal for preliminary site investigation (contamination) (PSI) for a proposed residential subdivision development at Lot 35 DP878862, Miles Franklin Drive, Talbingo, NSW (the site).

DP understands that there is a proposal to subdivide the site for residential purposes. The Master Plan for the site indicates that the development will comprise of a mix of low and medium density residential development and a spa hotel. DP also understands that preliminary planning liaison between Site Plus and Snowy Valleys Council (SVC) indicates that the neighbouring Talbingo Caravan Park is listed on the SVC contaminated land register. SVC indicates that *'investigations should be undertaken to determine if any portion of the subject site is also potentially contaminated'*.

With reference to the above, it is considered that a PSI is required to assess the potential for contamination to be present within the site and to inform the need for additional investigation, if required.

The objectives of the PSI will be to identify potential sources of contamination (if any) and determine the potential contaminants of concern, identify areas of potential contamination, identify human and ecological receptors associated with the proposed development and identify potentially affected media (soil, groundwater, ground gas etc.).

We would carry out all works with a team of experienced and qualified environmental engineers and scientists. The works will follow the policies and guidelines endorsed by the NSW Environment Protection Authority (EPA) including the following guidance documents:

- National Environment Protection Council (NEPC), National Environment Protection (Assessment of Site Contamination) Measure, 1999 as amended 2013;
- NSW EPA, *Consultants Reporting on Contaminated Land*, May 2020; and
- NSW Department of Urban Affairs and Planning, *Managing Land Contamination Planning Guidelines SEPP 55–Remediation of Land*, 1998.

2. Scope of Work

The PSI will include the following scope of works:

- Preparation of a list of Potential Areas of Environmental Concern (PAEC) through investigation of the site by the following methods:
 - o A review of existing topographical, geological and hydrogeological maps for the area to provide an indication of the likely local soils, geology and topography for the site;
 - o A review of Acid Sulfate Soils risk mapping data published on eSPADE, NSW Office of Environment & Heritage online mapping tool;
 - o A search through the Contaminated Land Register for notices issued under the CLM Act;
 - o A search through the dangerous goods database held by SafeWork NSW. It should be noted that authority from the landholder/owner is required to conduct this search;
 - o A review of available historical aerial photography;
 - o A review of historical land titles with respect to the Deposited Plans comprising the site to identify previous site owners. The names and occupations of site owners may assist in the identification of potentially contaminating activities;
 - o A search of the NSW Office of Water's registered groundwater bore database;
 - o Review of existing reports (if applicable) including Section 10.7 planning certificates; and
 - o Interviews with current and past local residents and land occupiers (where possible) to obtain anecdotal information regarding the potential nature and extent of site contamination;
- Once identified, additional analysis will be undertaken for each PAEC site. Additional analysis will include GPS logging of the PAEC locations, photographing the site and recording observations during a site walkover by an experienced environmental engineer. We would require access to all the relevant buildings on the site (e.g. sheds and garages); and
- Prepare a report presenting the results of the assessment (i.e.: nature, extent and degree of contamination within the site), with recommendations for remediation (if required). The report will also contain recommendations as to the necessity for further investigations to be carried out on the site and the suitability of the site to be used for its intended and permitted purposes.

3. Timing

It is anticipated that work can commence on the investigation within 5 working days upon receipt of the Client's authority to commence work and any relevant work clearances required.

For the PSI, site history searches will require approximately 1 – 2 weeks and the site walkover would require less than one working day to complete. A PSI report will then be prepared and will be ready for submission to the Client within 4 – 5 weeks of the relevant work clearance from the Client to commence work and completed the attached *Authority to Conduct Information Search*.

4. Staffing

All works will be undertaken by our team of experienced and qualified environmental engineers and scientists who are well versed in environmental investigation.

We propose that Mr Dean Woods, a Principal Environmental Scientist will be the Project Principal for the work. Mr Woods has over 20 years' experience in environmental investigations for subdivisions, commercial and industrial developments and is a Certified Environmental Site Practitioner (CEnvP).

The Project Manager will be Mr Peter Storey, a Senior Environmental Scientist, with over 10 years' experience in field assessments and reporting for various developments.

The Project Engineer will be Mr Shannon Goodsell, an Environmental Scientist, with over 4 years' experience in field assessments and reporting for various developments.

5. Quality Assurance

All project work is carried out in accordance with a quality management system externally certified to AS/ISO9001. Copies of the company management system manual and a sample project quality plan can be provided if required. Project management and field work procedures manuals can be viewed also if required.

6. Fees and Conditions

Our estimated costs for the investigation, based on a schedule of rates, are attached.

The following assumptions were made during the preparation of this proposal:

- The field work can be carried out during normal working hours, which are 7 am to 5 pm Monday to Friday and that all necessary approvals have already been obtained. Should the work be required to be undertaken outside these hours additional fees/charges would apply;
- It should be noted that this proposal has not been based on the inclusion of a site auditor. Additional fees would be required should the need arise for the inclusion of one; and
- The report will be submitted in electronic form, additional fees may apply should a hard copy of the report be requested.

Our proposal should be read in conjunction with our standard conditions of engagement and the other attachments to this letter. Together, these will constitute the terms of our agreement and the basis on which we will provide any Services requested by you. These terms will remain in operation until, and if, we formally execute an alternative written agreement with you (or your organisation) for this work. We reserve the right to consider and negotiate any terms we may be asked to agree to. Payment for services performed by us cannot be withheld on the basis that Douglas Partners must first agree to separate terms.

If you wish us to proceed with the investigation, could you please complete, sign and date the attached Services Order form and return it to us. To avoid any doubt once we have provided this letter to you and if you then request us to provide any services, the terms of this letter and its attachments will bind both you and us in connection with all those services performed by us at your request even if not signed by you unless we agree otherwise in writing. While we may agree in good faith to review other conditions of engagement, such review and any acceptance may be subject to additional fees.

In response to COVID-19, we would like to share with you our business continuity plans and the measures we have in place to enable us to continue to provide a strong level of service throughout these times. This can be found at <https://www.douglaspartners.com.au/news/covid-19>. We recognise that unforeseen circumstances may arise and, as always, we will endeavour to keep you informed of any issues that may affect our services.

We thank you for your enquiry and look forward to being of service.

Yours faithfully

Douglas Partners Pty Ltd



Kenton Horsley

Associate / Environmental Services Manager

Attachments: Services Order
 Schedule of Rates
 Authority to Conduct Information Search
 Conditions of Engagement

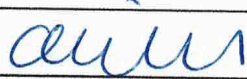
SERVICES ORDER

To	Douglas Partners Pty Ltd
Attention	Kenton Horsley
Email	Kenton.Horsley@douglaspartners.com.au

Please proceed with the work as detailed in DP's proposal listed below for the fee estimate provided.

Project	Preliminary Site Investigation (Contamination), Proposed Residential Subdivision Development
Address	Lot 35 DP878862, Miles Franklin Drive, Talbingo, NSW
Proposal	206726.00.P.001.Rev0 dated 15 February 2023

We confirm that we are responsible for payment and all invoices should be sent to the address below.

Company or Name	Ironstone Development Group Pty Ltd.
ABN	66 168 97391
Address	34A Walton St Blakehurst NSW 2221
Phone	0410414379
Email/Fax	
Authorised by	Name: Anita Simonovski Title: Director who hereby warrants his/her authority to do so on behalf of
Signature	
Date	15/02/23

Proposed Residential Subdivision Development
Lot 35 DP878862, Miles Franklin Drive, Talbingo, NSW

Schedule of Rates - Preliminary Site Investigation (Contamination)


Item	Estimated Quantity	Unit	Rate	Amount
1 Project Coordination and Planning				
Project management	1	sum	\$250	\$250.00
2 Site History Review				
Contaminated Land search	1	sum	\$100	\$100.00
Groundwater bore search	1	sum	\$100	\$100.00
S10.7 (parts 2 and 5) Planning Certificate	1	each	\$200	\$200.00
Aerial photography review	1	sum	\$400	\$400.00
Title Deeds Search	1	each	\$300	\$300.00
SafeWork NSW Search	1	each	\$325	\$325.00
3 Fieldwork				
Environmental Scientist (travel to and from site)	6	hour	\$205	\$1,230.00
Environmental Scientist (site walkover)	8	hour	\$205	\$1,640.00
4 Analysis and Reporting				
Preparation of Preliminary Site Investigation Report	1	sum	\$2,500	\$2,500.00
Total				\$7,045.00
+ 10% GST				<u>\$704.50</u>
Estimated Total Cost				\$7,749.50

Authority to Conduct Information Search

To	Douglas Partners Pty Ltd
Attention	Kenton Horsley
Fax	02 6260 1147
Email	Kenton.horsley@douglaspartners.com.au

I hereby give Douglas Partners Pty Ltd, and its authorised representatives, approval to obtain an information search on my property as described below:

Address	Lot 35 DP878862, Miles Franklin Drive, Talbingo, NSW
Company or Name	Saile No 2 Pty Ltd.
ABN	140 893 465 (ACN)
Address	1 Andrew Place North Rocks NSW 2151
Phone	0410414379
Fax	
Email	office@ironstorebuilding.com.au

Authorised by	ANITA SIMONOVSKA
Signature	
Date	16/2/23

CONDITIONS OF ENGAGEMENT

These conditions of engagement apply to services carried out by the Company and with the Proposal, constitute the terms of an agreement between the Company and the Client. Review and acceptance of other conditions of engagement may be subject to payment of additional fees. Unless agreed in writing, these conditions shall apply to the exclusion of any inconsistent provision which may appear on any order form or other document issued by the Client. The Proposal and these conditions of engagement shall apply to any variations which may be agreed or ordered in the scope of the work and to any supplementary work on the project which may be the subject of verbal agreement.

1. Definitions. In these conditions of engagement:

'Company' means Douglas Partners Pty Limited (ABN 75 053 980 117) and its employees.

'Client' means the person to whom the Company provides services and who is ultimately responsible for payment. The Client may be represented by an Agent (e.g. Consulting Engineer, Architect, Solicitor etc.) who acts with his authority and arranges for or directs the services on his behalf.

'Proposal' means the Company's written offer to provide consulting or other services which accompanies these conditions.

'Services' means the services to be provided by the Company to the Client, as detailed in the Proposal.

Words importing the singular include the plural, and vice versa. Words importing any gender include the other gender.

Any legislation referred to in these conditions is to that legislation as amended, re-enacted or replaced and includes any subordinate legislation issued under it.

2. Role of the Company. The Company will exercise reasonable skill, care and diligence in providing the Services using assumptions and engineering practices that can be reasonably expected of a consultant providing services of a similar nature in the same locality under similar conditions.

The Company may appoint sub-consultants, sub-contractors or agents to perform any part of the Services.

3. Role of the Client. The Client (or Agent) must provide to the Company (where relevant):

- written acceptance of the Proposal.
- approvals for access, name of site contact, and keys.
- survey plans and data regarding underground services.
- other information relevant to the brief, e.g. details of proposed construction, loadings, construction levels and cross-section drawings.
- any relevant information available regarding the presence on site of hazardous substances or any prior site usage which may have led to site contamination.

The Client must promptly inform the Company if any information or document provided to the Company is found to contain any material inaccuracies or is inadequate to enable the Company to properly perform the Services.

The Company is entitled to rely on information supplied by the Client for the purposes of providing the Services except where such information is in the reasonable professional opinion of the Company likely to be unreliable, outdated, inadequate, incomplete or inaccurate. The Company may suspend the provision of the Services if the Company is unable to obtain the information reasonably required to perform the Services provided written notice is given to the Client.

4. Role of Agent. If the Proposal is accepted by an Agent, the Agent warrants to the Company that he has the Client's authority to do so and accepts that he is personally liable for the Client's obligations under these conditions of engagement. If the person who accepts the Proposal does not indicate in writing that he is an Agent at the time of acceptance, he is the Client and liable accordingly.

5. Fees. The Proposal indicates whether the Company will provide the Services for a lump sum or a fee calculated by a schedule of rates. If a schedule of rates, then the Company may give an estimate of the total cost in the Proposal.

The estimate of total cost and the lump sum are based on the Company's understanding of the required scope of work and its expectation of sub-surface conditions as detailed in the Proposal. Any statements regarding an expectation of sub-surface conditions in the Proposal are provided for the purpose of providing a reasonable estimate of cost of Services and are not a professional opinion as to the site generally. The Company will endeavour to provide the Services within the estimate or sum provided.

If undisclosed or unexpected conditions are encountered then additional work not allowed for may be required. Under these circumstances the Company will endeavour to advise the Client and seek its approval before undertaking work which exceeds the estimate of total cost or lump sum.

If any activity is required which is outside the scope of the Proposal, the Company will charge for such additional work at the current standard hourly rates for personnel and equipment. Hire of outside services, if necessary, will be charged at cost plus 10% for procurement.

Unless otherwise stated Goods and Services Tax has not been included in either the rates or lump sum in our proposal and will be charged to the Client, when applicable.

The schedule of rates or lump sum in the Proposal is current for a period of three months from the date of the Proposal.

6. Terms of Payment. At the Company's election, invoices will be rendered monthly or on completion of the work and are due for payment in full within 30 days. The Company will charge interest at the rate of 1.5% per month on any invoices unpaid after 30 days.

If the Client disputes any part of the invoice then payment of the undisputed portion must not be delayed and a written schedule of the items disputed given to the Company within 10 business days of receipt of the invoice.

7. Limitation of Liability. The Company will effect and maintain professional indemnity insurance, public liability insurance and all other insurances which are appropriate for the Services.

Where the Client is a Consumer as defined under the Competition and Consumer Act 2010 (Cth) the Company's liability for a breach of warranty or any condition of this agreement, to the extent permitted by law, will be limited at the Company's option to either providing those Services again, or refunding the price of that part of the Services in respect of which the breach occurred.

The Company's liability to the Client for loss or damage caused by a failure to exercise reasonable care is limited to the greater of either:

- \$500,000; or
- three times the fee actually paid by the Client to the Company for the services concerned (to a maximum of \$3,000,000); or
- any other amount agreed in writing between the Client and the Company, subject to payment of an additional fee contributing to the cost of the extra insurance cover.

In all cases of legal liability (whether under contract, in statute, tort or law), the Company's liability to the Client for any loss, damage, liability, expense or cost suffered arising from or in connection with the Company's provision of Services shall:

- be limited to the extent to which the Company's own negligent or wrongful acts, errors or omissions contributed to the loss, damage, liability, expense or cost suffered; and
- not exceed the amount covered by the Company's relevant insurance policy.

The Company shall have no liability for:

- a claim where the Client acts contrary to the Company's written recommendation or purports to use the Services contrary to this agreement.
- a claim unless such claim is notified in writing to the Company within 12 months of the completion of the provision of the Services.
- a claim involving consequential or economic loss or for loss relating to delay of the project.

8. Intellectual Property. The Company retains intellectual property rights in all designs, documents, data, analyses and materials prepared or provided by the Company. The Company grants a royalty-free, non-exclusive licence to the Client to use this material in connection with the project for which it is prepared. The Client is not permitted to assign, transfer or convey this licence without the prior written consent of the Company.

If the Client is in breach of any obligation to make payment to the Company, the Company may revoke this licence and the Client shall cause to be returned to the Company all material in which such copyright subsists which is in its possession or otherwise destroy such material as directed by the Company.

The Client must not alter or amend any material produced by the Company and must acknowledge the Company's work in all material incorporated into other documents or reports or otherwise used in the public domain.

9. Termination, Disputes and Governing Law. This agreement may be terminated by either party if a party commits a material breach of its obligations and this is not remedied within fourteen (14) days of receipt of written notice requiring the breach to be remedied.

In the event of termination, the Company shall be paid for all services performed to the termination date plus reasonable termination expenses.

Any disputes between the Company and the Client shall first be the subject of mediation. This provision shall not prevent the Company from instituting legal action at any time to recover moneys owing and the Client shall pay to the Company the costs and expenses (including mercantile agent's costs and legal costs) incurred by the Company in obtaining payment of any amount not paid by the due date.

The agreement between the Company and Client shall be governed by the laws of the State or Territory where the project site is located or, in the event that there is no specific site, of the office in which the Services are performed.

10. Field Work. The Company's fees allow for the establishment of equipment to carry out drilling, sampling and testing referred to in the Proposal. In providing the fee estimate and agreeing to conduct the Services, it is assumed that access is available for the equipment and that an adequate supply of water is available if required.

Standby rates will be applicable for delays associated with access, providing water, inclement weather, bogging of vehicles and equipment or any other delays not readily avoided.

The Client accepts responsibility for ensuring that the site is reasonably accessible and safe for the Company and its personnel, sub-consultants, sub-contractors and agents to conduct any field work required. The Company and its personnel, sub-consultants, sub-contractors and agents shall comply with any reasonable directions given by Client in respect of safety and access while on site. If reasonable and safe access to the site cannot be obtained, the Company may suspend the provision of Services for the period specified in a written notice given to the Client. Remobilisation and

standby costs incurred as a result of suspension will be borne by the Client.

The unit rates provided are for work within the reasonable capacity of the proposed equipment, using the techniques specified. Unless stated otherwise, no provision has been made for drilling hard filling, concrete, boulders, cobbles or gravels. Equipment, cones, or drilling bits damaged or lost in hard filling, concrete, gravels, cobbles or boulders will be charged at cost plus 10%. Time spent attempting to recover such equipment will be charged at the appropriate rates for the personnel and equipment.

The methods used indicate sub-surface conditions only at specific locations where samples were obtained or testing completed, only at the time the work was carried out, and only to the depths penetrated. Samples and test results cannot be relied on to accurately reflect the strata variations that usually exist between sampling locations.

Samples and cores obtained from the investigation will be retained, unrefrigerated without a charge for a period of three months following the submission of the report. Thereafter, this period of time may be extended at the Client's specific request for an agreed fee.

11. Laboratory Testing. Laboratory testing will be carried out in accordance with Australian or relevant Standards as agreed, or generally accepted industry practice.

12. Reports. Reports and documentation are provided for the exclusive use of the Client at a specific time, for a specific purpose and particular project. They should not be used by or relied upon for other projects or purposes on the same site or by a third party without written permission from the Company. This is because project details, statutory requirements and site conditions may change with time affecting report recommendations and conclusions.

The Company does not assume responsibility for interpretations or conclusions from other's review of the report or the test data, which are not otherwise supported by an expressed statement, interpretation, outcome or conclusion stated in the report.

Site Investigations. Written reports will be provided on completion of the work giving a statement of procedures and all field and laboratory results. Interpretation and analysis of results and comments thereon will be provided, where and as indicated in our Proposal. The reports will be based on normally accepted theory and practice and on the limits of information available.

The Company does not assume responsibility for the adequacy of its recommendations when they are used in the field without the Company being retained to observe construction. This is because during construction variations in sub-surface conditions between sampling locations may be exposed which require re-evaluation of previous recommendations.

Earthworks Testing. Written test reports will be provided in accordance with appropriate Standards and with NATA endorsement where appropriate. Unless otherwise agreed, earthworks reports will not contain interpretive comment or advice. Engineering reports providing interpretive comment or an overview of results, can be provided where specifically requested and at an agreed fee.

13. Construction Site Services. The Company does not supervise and is not responsible or liable for the work of construction contractors.

The Company is not responsible or liable for any advice on site which is not confirmed in writing.

Any certification relating to construction or site conditions will be provided in writing and on terms approved by Douglas Partners.

Site Plus Pty Ltd
PO Box 506
Figtree, NSW 2525

206726.01
14 February 2023
206726.01.P.001.Rev0
CS:mjj

Attention: Andrew Craddock

Email: andrew@siteplus.com.au

Proposal for Geotechnical Assessment
Proposed Residential Subdivision
Lot 35 DP878862, Talbingo

Following receipt of your email dated 9 February 2023, Douglas Partners Pty Ltd (DP) is pleased to provide our proposal for a geotechnical assessment for a proposed residential subdivision at Lot 35 DP878862, Talbingo.

DP has previously undertaken a field mapping of Lots 35 and 36 in DP 878862 and adjacent areas (DP's Report on Geotechnical Assessment, *Proposed Residential Subdivision Talbingo Village, Talbingo*, Project 40569 dated 6 April 2006). The report comprised a review of published information, qualitative assessment of site stability considerations, sampling of selected surface soils and laboratory test results as well as preliminary comments relating to design and construction practice.

Given the time that has elapsed since the DP 2006 report, we understand that an updated geotechnical report is required. Our scope of work will include a review of DP 2006 report, site walkover and preparation of an updated geotechnical report detailing the applicability of the 2006 report to the current site conditions and general comments relevant to the proposed development, for submission with the Development Application.

Our lump sum price to carry out an updated geotechnical report is \$5,900 (exclusive of GST).

Our proposal should be read in conjunction with our standard conditions of engagement and the other attachments to this letter. Together, these will constitute the terms of our agreement and the basis on which we will provide any Services requested by you. These terms will remain in operation until, and if, we formally execute an alternative written agreement with you (or your organisation) for this work. We reserve the right to consider and negotiate any terms we may be asked to agree to. Payment for services performed by us cannot be withheld on the basis that Douglas Partners must first agree to separate terms.

Based on current commitments, we estimate that we could start the field mapping within 10 – 15 working days of receiving your written order to proceed. We expect that the field work would take 1 working day to complete and the preparation of the report will take a further 2 - 3 weeks.

It is important to note that, like many businesses at this time, scheduling and resourcing remains impacted by COVID-19, and the availability of personnel to undertake field work, laboratory testing and reporting, can change at short notice. We will endeavour to do our best to provide updates to you in the

event your project is affected, but please note that, when they arise, these situations are outside of our control. Like everyone, we are working hard to balance productivity with the wellbeing of our valued employees, and unfortunately this can result in timelines extending beyond those indicated above, despite our best intentions.

In response to COVID-19, we would like to share with you our business continuity plans and the measures we have in place to enable us to continue to provide a strong level of service throughout these times. This can be found at <https://www.douglaspartners.com.au/news/covid-19>.

If you wish us to proceed with the services, could you please complete, sign and date the attached Services Order form and return it to us. To avoid any doubt once we have provided this letter to you and if you then request us to provide any services, the terms of this letter and its attachments will bind both you and us in connection with all those services performed by us at your request even if not signed by you unless we agree otherwise in writing. While we may agree in good faith to review other conditions of engagement, such review and any acceptance may be subject to additional fees.

We thank you for your enquiry and look forward to being of service.

Yours faithfully

Douglas Partners Pty Ltd



Christian Serafines
Geotechnical Engineer

Attachments: Services Order
 Conditions of Engagement

Reviewed by



Michael Jones
Principal

SERVICES ORDER

To	Douglas Partners Pty Ltd
Attention	Christian Serafines
Email	Christian.Serafines@douglaspartners.com.au

Please proceed with the work as detailed in DP's proposal listed below for the fee estimate provided.

Project	Geotechnical Assessment, Proposed Residential Subdivision
Address	Lot 35 DP878862, Talbingo
Proposal	206726.01.P.001.Rev0 dated 14 February 2023

We confirm that we are responsible for payment and all invoices should be sent to the address below.

Company or Name	Ironstone Development Group Pty Ltd.
ABN	66 168 907 391
Address	34A Walton St Blackhurst NSW 2221
Phone	0410414379
Email/Fax	
Authorised by	Name: Anita Simonovski Title: Director who hereby warrants his/her authority to do so on behalf of
Signature	<i>Anita Simonovski</i>
Date	15/02/23

CONDITIONS OF ENGAGEMENT

These conditions of engagement apply to services carried out by the Company and with the Proposal, constitute the terms of an agreement between the Company and the Client. Review and acceptance of other conditions of engagement may be subject to payment of additional fees. Unless agreed in writing, these conditions shall apply to the exclusion of any inconsistent provision which may appear on any order form or other document issued by the Client. The Proposal and these conditions of engagement shall apply to any variations which may be agreed or ordered in the scope of the work and to any supplementary work on the project which may be the subject of verbal agreement.

1. Definitions. In these conditions of engagement:

'Company' means Douglas Partners Pty Limited (ABN 75 053 980 117) and its employees.

'Client' means the person to whom the Company provides services and who is ultimately responsible for payment. The Client may be represented by an Agent (e.g. Consulting Engineer, Architect, Solicitor etc.) who acts with his authority and arranges for or directs the services on his behalf.

'Proposal' means the Company's written offer to provide consulting or other services which accompanies these conditions.

'Services' means the services to be provided by the Company to the Client, as detailed in the Proposal.

Words importing the singular include the plural, and vice versa. Words importing any gender include the other gender.

Any legislation referred to in these conditions is to that legislation as amended, re-enacted or replaced and includes any subordinate legislation issued under it.

2. Role of the Company. The Company will exercise reasonable skill, care and diligence in providing the Services using assumptions and engineering practices that can be reasonably expected of a consultant providing services of a similar nature in the same locality under similar conditions.

The Company may appoint sub-consultants, sub-contractors or agents to perform any part of the Services.

3. Role of the Client. The Client (or Agent) must provide to the Company (where relevant):

- written acceptance of the Proposal.
- approvals for access, name of site contact, and keys.
- survey plans and data regarding underground services.
- other information relevant to the brief, e.g. details of proposed construction, loadings, construction levels and cross-section drawings.
- any relevant information available regarding the presence on site of hazardous substances or any prior site usage which may have led to site contamination.

The Client must promptly inform the Company if any information or document provided to the Company is found to contain any material inaccuracies or is inadequate to enable the Company to properly perform the Services.

The Company is entitled to rely on information supplied by the Client for the purposes of providing the Services except where such information is in the reasonable professional opinion of the Company likely to be unreliable, outdated, inadequate, incomplete or inaccurate. The Company may suspend the provision of the Services if the Company is unable to obtain the information reasonably required to perform the Services provided written notice is given to the Client.

4. Role of Agent. If the Proposal is accepted by an Agent, the Agent warrants to the Company that he has the Client's authority to do so and accepts that he is personally liable for the Client's obligations under these conditions of engagement. If the person who accepts the Proposal does not indicate in writing that he is an Agent at the time of acceptance, he is the Client and liable accordingly.

5. Fees. The Proposal indicates whether the Company will provide the Services for a lump sum or a fee calculated by a schedule of rates. If a schedule of rates, then the Company may give an estimate of the total cost in the Proposal.

The estimate of total cost and the lump sum are based on the Company's understanding of the required scope of work and its expectation of sub-surface conditions as detailed in the Proposal. Any statements regarding an expectation of sub-surface conditions in the Proposal are provided for the purpose of providing a reasonable estimate of cost of Services and are not a professional opinion as to the site generally. The Company will endeavour to provide the Services within the estimate or sum provided.

If undisclosed or unexpected conditions are encountered then additional work not allowed for may be required. Under these circumstances the Company will endeavour to advise the Client and

seek its approval before undertaking work which exceeds the estimate of total cost or lump sum.

If any activity is required which is outside the scope of the Proposal, the Company will charge for such additional work at the current standard hourly rates for personnel and equipment. Hire of outside services, if necessary, will be charged at cost plus 10% for procurement.

Unless otherwise stated Goods and Services Tax has not been included in either the rates or lump sum in our proposal and will be charged to the Client, when applicable.

The schedule of rates or lump sum in the Proposal is current for a period of three months from the date of the Proposal.

6. Terms of Payment. At the Company's election, invoices will be rendered monthly or on completion of the work and are due for payment in full within 30 days. The Company will charge interest at the rate of 1.5% per month on any invoices unpaid after 30 days.

If the Client disputes any part of the invoice then payment of the undisputed portion must not be delayed and a written schedule of the items disputed given to the Company within 10 business days of receipt of the invoice.

7. Limitation of Liability. The Company will effect and maintain professional indemnity insurance, public liability insurance and all other insurances which are appropriate for the Services.

Where the Client is a Consumer as defined under the Competition and Consumer Act 2010 (Cth) the Company's liability for a breach of warranty or any condition of this agreement, to the extent permitted by law, will be limited at the Company's option to either providing those Services again, or refunding the price of that part of the Services in respect of which the breach occurred.

The Company's liability to the Client for loss or damage caused by a failure to exercise reasonable care is limited to the greater of either:

- \$500,000; or
- three times the fee actually paid by the Client to the Company for the services concerned (to a maximum of \$3,000,000); or
- any other amount agreed in writing between the Client and the Company, subject to payment of an additional fee contributing to the cost of the extra insurance cover.

In all cases of legal liability (whether under contract, in statute, tort or law), the Company's liability to the Client for any loss, damage, liability, expense or cost suffered arising from or in connection with the Company's provision of Services shall:

- be limited to the extent to which the Company's own negligent or wrongful acts, errors or omissions contributed to the loss, damage, liability, expense or cost suffered; and
- not exceed the amount covered by the Company's relevant insurance policy.

The Company shall have no liability for:

- a claim where the Client acts contrary to the Company's written recommendation or purports to use the Services contrary to this agreement.
- a claim unless such claim is notified in writing to the Company within 12 months of the completion of the provision of the Services.
- a claim involving consequential or economic loss or for loss relating to delay of the project.

8. Intellectual Property. The Company retains intellectual property rights in all designs, documents, data, analyses and materials prepared or provided by the Company. The Company grants a royalty-free, non-exclusive licence to the Client to use this material in connection with the project for which it is prepared. The Client is not permitted to assign, transfer or convey this licence without the prior written consent of the Company.

If the Client is in breach of any obligation to make payment to the Company, the Company may revoke this licence and the Client shall cause to be returned to the Company all material in which such copyright subsists which is in its possession or otherwise destroy such material as directed by the Company.

The Client must not alter or amend any material produced by the Company and must acknowledge the Company's work in all material

incorporated into other documents or reports or otherwise used in the public domain.

9. Termination, Disputes and Governing Law. This agreement may be terminated by either party if a party commits a material breach of its obligations and this is not remedied within fourteen (14) days of receipt of written notice requiring the breach to be remedied. In the event of termination, the Company shall be paid for all services performed to the termination date plus reasonable termination expenses.

Any disputes between the Company and the Client shall first be the subject of mediation. This provision shall not prevent the Company from instituting legal action at any time to recover moneys owing and the Client shall pay to the Company the costs and expenses (including mercantile agent's costs and legal costs) incurred by the Company in obtaining payment of any amount not paid by the due date.

The agreement between the Company and Client shall be governed by the laws of the State or Territory where the project site is located or, in the event that there is no specific site, of the office in which the Services are performed.

10. Field Work. The Company's fees allow for the establishment of equipment to carry out drilling, sampling and testing referred to in the Proposal. In providing the fee estimate and agreeing to conduct the Services, it is assumed that access is available for the equipment and that an adequate supply of water is available if required.

Standby rates will be applicable for delays associated with access, providing water, inclement weather, bogging of vehicles and equipment or any other delays not readily avoided.

The Client accepts responsibility for ensuring that the site is reasonably accessible and safe for the Company and its personnel, sub-consultants, sub-contractors and agents to conduct any field work required. The Company and its personnel, sub-consultants, sub-contractors and agents shall comply with any reasonable directions given by Client in respect of safety and access while on site. If reasonable and safe access to the site cannot be obtained, the Company may suspend the provision of Services for the period specified in a written notice given to the Client. Remobilisation and standby costs incurred as a result of suspension will be borne by the Client.

The unit rates provided are for work within the reasonable capacity of the proposed equipment, using the techniques specified. Unless stated otherwise, no provision has been made for drilling hard filling, concrete, boulders, cobbles or gravels. Equipment, cones, or drilling bits damaged or lost in hard filling, concrete, gravels, cobbles or boulders will be charged at cost plus 10%. Time spent attempting to recover such equipment will be charged at the appropriate rates for the personnel and equipment.

The methods used indicate sub-surface conditions only at specific locations where samples were obtained or testing completed, only at the time the work was carried out, and only to the depths penetrated. Samples and test results cannot be relied on to accurately reflect the strata variations that usually exist between sampling locations.

Samples and cores obtained from the investigation will be retained, unrefrigerated without a charge for a period of three months following the submission of the report. Thereafter, this period of time may be extended at the Client's specific request for an agreed fee.

11. Laboratory Testing. Laboratory testing will be carried out in accordance with Australian or relevant Standards as agreed, or generally accepted industry practice.

12. Reports. Reports and documentation are provided for the exclusive use of the Client at a specific time, for a specific purpose and particular project. They should not be used by or relied upon for other projects or purposes on the same site or by a third party without written permission from the Company. This is because project details, statutory requirements and site conditions may change with time affecting report recommendations and conclusions.

The Company does not assume responsibility for interpretations or conclusions from other's review of the report or the test data, which are not otherwise supported by an expressed statement, interpretation, outcome or conclusion stated in the report.

Site Investigations. Written reports will be provided on completion of the work giving a statement of procedures and all field and laboratory results. Interpretation and analysis of results and comments thereon will be provided, where and as indicated in our Proposal. The reports will be based on normally accepted theory and practice and on the limits of information available.

The Company does not assume responsibility for the adequacy of its recommendations when they are used in the field without the Company being retained to observe construction. This is because during construction variations in sub-surface conditions between sampling locations may be exposed which require re-evaluation of previous recommendations.

Earthworks Testing. Written test reports will be provided in accordance with appropriate Standards and with NATA endorsement where appropriate. Unless otherwise agreed, earthworks reports will not contain interpretive comment or advice. Engineering reports providing interpretive comment or an overview of results, can be provided where specifically requested and at an agreed fee.

13. Construction Site Services. The Company does not supervise and is not responsible or liable for the work of construction contractors.

The Company is not responsible or liable for any advice on site which is not confirmed in writing.

Any certification relating to construction or site conditions will be provided in writing and on terms approved by Douglas Partners.

15th February 2023

Robert Harwood Architects
Suite 303 61 Marlborough St
Surry Hills NSW 2010

Att: Robert Harwood
www.robertharwoodarchitects.com



Hayes Environmental Pty Ltd
ATF Hayes Environmental Trust
ABN 61 523 229 092
PO Box 2257, Bowral 2576
Phone 0412 600 173
Email rhogan@hayesenv.com.au
Web www.hayesenv.com.au

FEE PROPOSAL:

Lot 35 DP 878862 Miles Franklin Drive, Talbingo
Proposed Residential Subdivision
Biodiversity Assessment

PRELIMINARY APPRAISAL OF THE SITE

Lot 35 DP 878862 (the subject property) is 15.25 hectares in size. It is zoned RU5 Village under Tumut LEP 2012, with a minimum lot size of 225m².

The property consists of open grassland with scattered trees. Existing infrastructure includes a network of roads, fences and levelled pads, with several structures. Regional vegetation maps indicate that the property contains patches of PCT 283 *Apple Box – Blakeleys Red Gum moist valley and footslopes grass-forb open forest of the NSW South Western Slopes Bioregion*.

This PCT (plant community type) is part of the grassy box-gum woodland complex that is listed as critically endangered under both the *NSW Biodiversity Conservation Act 2016* and the *Commonwealth Environment Protection & Biodiversity Conservation Act 1999*. The PCT may persist as derived native grassland in areas where all woody tree and shrub layers have been removed.

A site inspection by Ms Rebecca Hogan in 2006 recorded that many of the trees present are exotic plantings. Botanical field survey is required to identify the presence and extent of native vegetation (including grassland) and confirm the plant community type/s present.

The property may provide habitat for a range of threatened plant and animal species. A list of relevant species for assessment would be derived from the PCT/s identified on the property and application of various regional, geographic and habitat constraints. Field surveys are required during appropriate seasons to demonstrate absence of relevant species. It is often the case that field surveys are required at intervals over a period of six months or more to meet legislated survey guidelines.

In relation to the Biodiversity Offset Scheme Entry Threshold (BOSET):

- i. No part of the property is currently mapped on the Biodiversity Values Map.
- ii. The area of clearing criteria is 0.25ha. This means that if the project would impact upon 0.25ha of native vegetation (which includes native grassland), then the project would exceed BOSET on the area criteria and a BDAR would be required.

A handwritten signature in blue ink, appearing to read "Rhogan", is written over a horizontal green line.

If the BOS thresholds are not exceeded, it would be necessary to conduct a test of significance of likely impacts on threatened species or ecological communities. This would require field survey to determine the presence or absence of relevant species.

Due to the level of uncertainty in relation to the type and extent of impact on native vegetation, it is recommended that a preliminary biodiversity assessment be conducted to determine whether BOSET would be exceeded, whether the streamlined assessment module would apply, and correspondingly, the type of biodiversity assessment report required. A further fee proposal would be provided once the results of the preliminary assessment are known and a forward strategy can be decided.

PROJECT MANAGER

Ms Rebecca Hogan

Bachelor of Science (environmental biology), UTS Sydney, 1996

Master of Engineering Management, UTS Sydney, 2000

Biodiversity Assessment Method Accredited Assessor (BAAS17090)

Scientific Licence, s132c of the NP&W Act 1974 (SL100778)

DPI Animal Care & Ethics Committee Approval

Public Liability and Professional Indemnity Insurance

Experience Summary:

Rebecca Hogan has been conducting environmental surveys in eastern NSW for 26 years, establishing Hayes Environmental in 1998 to specialise in flora and fauna planning and assessment for developments within the greater Sydney, Southern Highlands, and Southern Tablelands regions.

Rebecca has experience across a wide range of development projects, from small private constructions, to significant residential and urban renewal projects, infrastructure projects such as roads, pipelines and telecommunications towers, and mine development and rehabilitation. Rebecca also has experience with Stewardship Site assessments, for creation of Biodiversity Credits.

Rebecca enjoys seeing a project through from inception, identifying constraints and opportunities, participating in planning discussions with the project team and stakeholders, to assessment and reporting, representation at Council or Government Department meetings, and if required, provision of expert evidence in the NSW Land & Environment Court.

Rebecca works within a network of professional associates, to set up project teams that are tailored to the specific needs of each project, engaging specialist field ecologists as required.

PROJECT BOTANIST

Mr Daniel Clarke

Bachelor of Science with First Class Honours (Botany), University of Sydney, 2010

Certificate IV in General Horticulture, 2005

Certificate II in Bushland Regeneration, 2000

Graduate Plant Science Internship, National Herbarium of NSW, Royal Botanic Gardens, 2009

Scientific Licence, s132c of the NP&W Act 1974 (SL101495)



Experience Summary:

Daniel Clarke has been carrying out contract botanical services for Hayes Environmental since 2016.

Daniel has 20 years of experience working as a field botanist, starting his career in the bushland regeneration industry, supervising work groups across the greater Sydney region, and working part-time for TAFE NSW providing training for the *Conservation and Land Management* and *General Horticulture* courses.

Daniel was part of the team contracted by OEH to conduct standardised plot surveys and ground-truthing for the Wingecarribee Plant Community Type mapping project. Daniel is contracted on a regular basis to undertake targeted threatened plant surveys and plant material collections for the DPIE Saving our Species program and for the Australian National Botanic Gardens.

APPROACH & FEES

Hayes Environmental proposes the following:

Stage 1	* Botanical survey by Mr Daniel Clarke to identify and map areas of native vegetation within the property.	\$2,400.00
	* Site inspection by Ms Rebecca Hogan, including identifying and mapping habitat features suitable for threatened fauna species.	\$2,000.00
	* Identification of Plant Community Types (PCTs), database searches, confirmation of relevant threatened species, GIS mapping and calculations.	\$2,000.00
	* Preparation of a brief letter to set out the findings, identify and map biodiversity constraints (if any), and provide advice as to the requirements for biodiversity assessment, including options that could reduce the biodiversity impact and associated costs, where possible.	\$500.00
Subtotal		\$6,900.00
GST		\$690.00
TOTAL for Stage 1		\$7,590.00
Stage 2	* Additional field surveys to target relevant threatened species.	\$tba
Stage 3	* Preparation of a biodiversity assessment report for lodgement with Council could vary from approximately \$5,000 for a basic Flora and Fauna Assessment report, to approximately \$20,000 for a more comprehensive Biodiversity Development Assessment Report (BDAR).	\$tba



PAYMENT TERMS

For commencement of works, a written acceptance of this fee proposal is required, with pre-payment of a deposit (50% of fees = \$3,795.00 including GST), as nominated in the payment schedule below.

Payment schedule:	Amount	Invoice Due
1. Upon acceptance of fee proposal (50% of Stage 1 fees)	\$3,795.00 inc GST	prior to commencement of work.
2. Upon completion of Stage 1 work (50% of Stage 1 fees)	\$3,795.00 inc GST	within 14 days of date of invoice and prior to continuation of work.

Payments by direct deposit to:

Hayes Environmental – BDCU: BSB 802101 Account 100081724


aiim 20/2/23

Proposal acceptance

Project title:	West Talbingo village masterplan
HillPDA reference:	C23072
Project description:	Economic impact assessment
Client:	Site Plus Pty Ltd
Client contact:	Andrew Craddock 0414 965 984 andrew@siteplus.com.au
Lead consultant	Nicholas Hill 02 9252 8777 adrian.hack@hillpda.com
Professional fees:	\$19,000 (Excluding GST)
Fee schedule:	20% upon inception 70% upon delivery of draft report 10% upon delivery of final report

Terms and conditions:

By signing the below the client agrees to be bound by the terms & conditions as attached

Approved by: (Print Name)	ANITA SIMONOVSKY
Signature:	
Date:	21/03/2023
Position/Authority	Director (Ironstone Development Group Pty Ltd)
PO Number (if required)	

Liability limited by a scheme approved under the Professional Standards Legislation

**TRAFFIC AND PARKING IMPACT ASSESSMENT FOR PROPOSED MIXED USE
DEVELOPMENT AT LOT 35 & 36 DP878862 MURRAY JACKSON DRIVE, TALBINGO**

We accept the fee proposal contained herein for Tasks 1 - 17 to the minimum value of \$13,500 plus 10% GST, equating to **\$14,850**.

We require completed form below as well as information outlined in the first page of this fee proposal.

Schedule of invoicing:

Commencement Fee	\$ 4,455 (30%)
Release of Draft Assessment	\$ 10,395 (70%)
Tasks 16 & 17	billed per item undertaken

This fee proposal will expire in 30 days if a signed form is not received.

Final reports will be released upon remittance of all outstanding fees.

Payment of funds can be made by direct transfer into the following bank account details, or via cheque to the Accounts Dept of *McLaren Traffic Engineering* at 5 Jabiru Place, Woronora Heights NSW 2233:

National Australia Bank, 23 Old Town Centre Plaza Bankstown NSW
Account Name: RAMTRANS (AUSTRALIA) PTY LIMITED
BSB: 082-124
Acct#: 639-531-304

Anita Simonovski
Name (please print)

Alvin
Signed

28/2/23
Date

Ironstone Development group
Company Name pty Ltd.

66168 907 391
ABN#

Company Address

34A Walton St, Blakehurst, NSW 2221

Company phone

0410414379

Company email

office office@ironstonebuilding.com.au

**TRAFFIC AND PARKING IMPACT ASSESSMENT FOR PROPOSED MIXED USE
DEVELOPMENT AT LOT 35 & 36 DP878862 MURRAY JACKSON DRIVE, TALBINGO**

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17 February 2023

Robert Harwood

Suite 303, 61 Marlborough St

Surry Hills NSW 2010

www.robertharwoodarchitects.com

rh@harwoodarchitects.com

0414 551 550

FEE PROPOSAL: TALBINGO MASTERPLAN – HERITAGE REPORT

Thank you for inviting OzArk Environment & Heritage (OzArk) to submit a quote for the provision of heritage assessment services for the Talbingo master planning.

1 UNDERSTANDING AND SCOPE

Harwood Architects (the client) is developing a Masterplan for Ironstone Development Group Pty Ltd and Liberty Homes Pty Ltd as part of the Kele Group (the proponent) for Lot 35 DP878862 Talbingo (**Figure 1**). The development would comprise mixed-use development which also incorporates a tourist facility (Spa Hotel), medium density mixed use precinct and detached dwelling residential area with extensive landscaping. A preliminary concept plan subdivision has been developed (**Figure 2**).

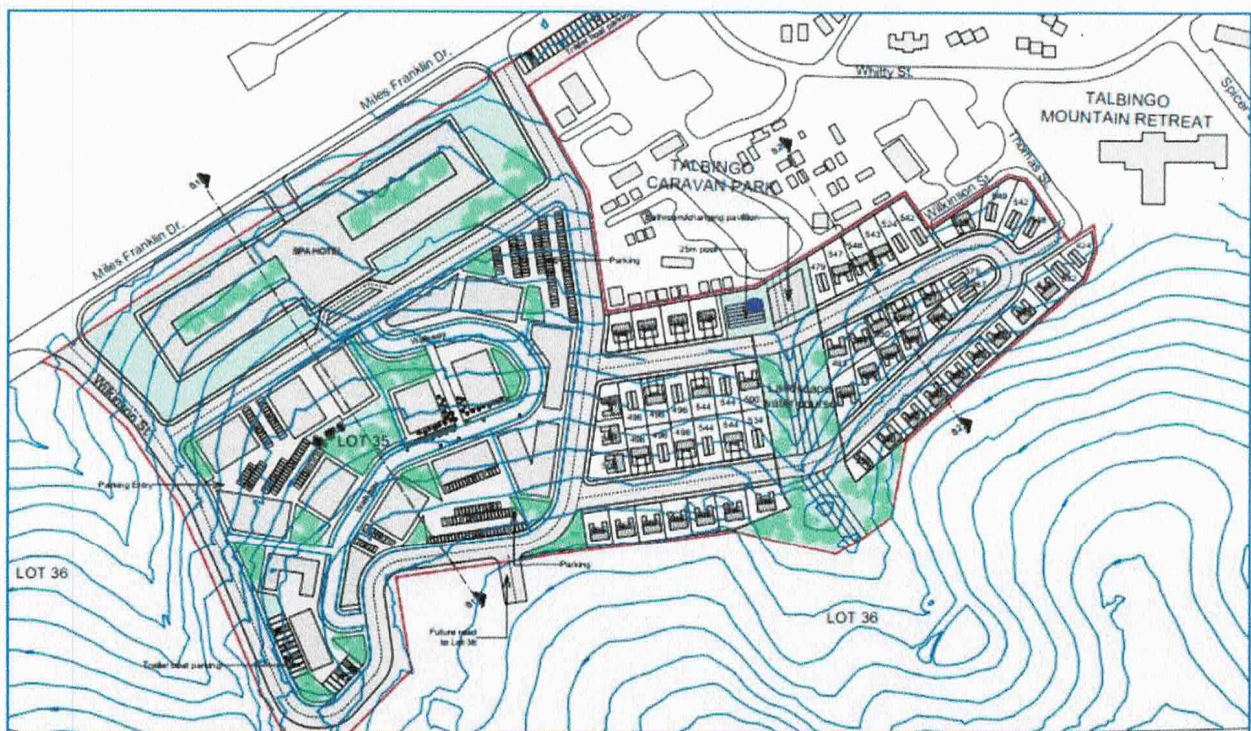
A previous "Preliminary Heritage Assessment for a Development Proposal for the Talbingo Village, Southern New South Wales" was prepared by Australian Archaeological Survey Consultants Pty Ltd in April 2006. This report recommended that a visual survey occur for both Aboriginal heritage and European heritage.

Therefore, as the RFQ is for a Master Plan, OzArk proposes to provide an Opportunities and Constraints report, with visual inspection, to assist in the planning process. If required, these reports can then be used to develop impact assessment reports, though this would be the subject of a variation/new fee proposal.

Figure 1: Location of study area at Talbingo.



Figure 2: Proposed site master plan.



2 METHODOLOGY

As per the usual requirements for a Master Plan, we have only provided for an opportunities and constraints type report for both Aboriginal and historic heritage. This will identify what is present / likely to be present over each site, as well as some guidance on the type of further assessment that may needed should development in certain areas be planned. We note that this approach is not an impact assessment that could support a specific proposal, and will be more generic in nature.

Aboriginal community consultation has been included as an optional item. Such consultation could allow potential Aboriginal cultural values of the study areas to be discussed, as well as archaeological and heritage values.

2.1 DESKTOP REVIEW

The desktop review will include:

- a literature review of previous heritage surveys and reports undertaken within or near the study areas
- searches of the Aboriginal Heritage Information Management System (AHIMS) and federal, state, and local heritage databases to identify all known heritage constraints, including the following:
 - Tumut Local Environmental Plan 2012
 - Snowy Valley Development Control Plan 2019
 - NSW Heritage database including the State Heritage Register and Inventory
 - Australia's National Heritage List and the Australian Heritage Database
 - Any other relevant information sources.
- The results of the desktop assessment will be mapped
- A predictive site model identifying the site types that are likely to, or could potentially occur within the study areas (primarily relating to Aboriginal heritage)

Aboriginal community consultation (optional):

- If accepted, OzArk will commence communications with the Local Aboriginal Land Council. We note it is up to the proponent as to whether they wish to begin consultation with the Aboriginal community at this stage of the project. OzArk will be guided by the Proponents wishes in regard to this and the fee proposal devised represents an optional estimate only.

2.2 FIELD INSPECTION AND CONSTRAINT/OPPORTUNITY MAPPING

This proposal element allows time for OzArk to complete a field assessment to compile an inventory of observed and likely cultural heritage sites. As discussed above, the study areas are shown on **Figure 1** and is approximately 15.25 hectares in area.

- The Aboriginal and historic field assessment would occur at the same time
- OzArk assumes that the proponent will arrange access to all inspection locations with individual landowners. If portions of the survey area are slated for inspection but are unable to be accessed, these areas will be discussed in the constraints report but only in general terms with the recommendation that these areas be assessed further if impacts were proposed.
- It is considered likely that one half-day at Talbingo will be required to inspect the study areas. Please note this will not equate to full heritage survey for the study area but should allow a sufficient characterisation of them to provide recommendations to guide recommendations for the likely assessment needed for potential future development.

Following the inspection, OzArk will produce a constraints summary and mapping that will:

- Document the location and condition of any sites identified and assess their significance at a local, state and national level
- Advise on any potential legal requirements including the need for referrals / permits associated with possible future plans to impact sites identified, i.e. requirements for further investigative assessments that may be needed should impacts be proposed. This advice will include likely timelines and additional consultancy services if needed.
- Identify any constraints from identified aboriginal heritage or historic sites etc throughout the study area that will need to be considered in future design
- Provide recommendations as to critical areas where impact should be avoided or tailored (where possible) or minimised.

2.3 REPORT

- Preparation of a draft Aboriginal and historic heritage opportunities and constraints report.
- Once circulated through internal QMS procedures, this report would be delivered to the proponent for review.
- Edits would be made as required towards finalisation of the report.

3 NOMINATED PROJECT TEAM

3.1 THE NOMINATED PROJECT TEAM

The project team for this proposal is outlined in **Table 3-1**. A brief description of the individuals' qualifications and experience is provided below.

Should OzArk be successful in this tender, staff will be allocated to the project as set out below:

- Director and Principal Archaeologist: Dr Jodie Benton
- Principal Archaeologist, project lead, editing and quality control: Ben Churcher
- General Manager: Sheridan Baker
- Office Manager and Community Consultation: Catherine Burrowes
- Senior Archaeologist: Stephanie Rusden
- Archaeologist: Harrison Rochford, Brendan Fisher, Imogen Crome, Jordan Henshaw, or Eleanore Martin depending on availability

Table 3-1. OzArk technical skills. Relevant experience.

Name / Position / Qualifications / Role	Technical Skills
Management Team	
 <p>Dr Jodie Benton Director <i>PhD Archaeology</i> <i>BA (Hons) Archaeology</i> Aboriginal and historic heritage Project Management Quality Control</p>	<p>Jodie is both Director and Principal Consulting Archaeologist of OzArk Environment & Heritage. She has over 35 years' experience, having spent many years managing archaeological projects abroad and in Australia, as well as lecturing at the University of Sydney.</p> <p>Jodie's most recent work has been primarily development driven environmental impact assessment in NSW. The heritage components of this work have enabled Jodie to develop a broad network of Aboriginal community contacts, a thorough understanding of heritage protection legislation and to refine appropriate methodologies for Aboriginal and historic heritage assessments and community consultation.</p>
 <p>Ben Churcher Principal Archaeologist <i>BA (Hons) Dip Ed</i> Aboriginal and historic heritage Project Management Quality Control</p>	<p>Ben, Principal Archaeologist with OzArk Environment & Heritage, has over 40 years' experience as an archaeologist and has been employed with OzArk since 2003. His duties include project director on large scale survey and excavation programs. Ben has written numerous comprehensive reports concerning Aboriginal and historic heritage across NSW including the assessment of scientific values for several complex State Significant projects.</p> <p>Ben's extensive work overseas includes the University of Sydney's excavations at the site of Pella in Jordan where he holds the position of Field Director. He also has a keen interest in historical sites. Ben is also the primary reviewer of archaeological reports written by OzArk staff to ensure their high quality and consistent approach.</p>

Name / Position / Qualifications / Role	Technical Skills
 <p>Sheridan Baker General Manager Business and Human Resource Management Community Consultation Integrated Management Systems</p>	<p>Sheridan is responsible for the day-to-day management of the business. Additionally, she has over 25 years' experience in community liaison, Aboriginal tenancies, negotiation, media relations, remote and isolated communities as well as business and operational management. Sheridan has worked extensively with Aboriginal communities on a variety of issues and understands protocols required for successful consultation.</p>
 <p>Catherine Burrowes Office Manager Community Consultation Office management Administration</p>	<p>Catherine is the Office Manager for OzArk Environment & Heritage and is responsible for delivery of Aboriginal Community Consultation which Catherine has been doing for the past year. Projects she has been involved in includes, APA Group, Moomba to Wilton pipeline and Eulie Pig Farm. Catherine also provides the efficient management of the office. Her administrative support to the office, including purchasing, organisational policies and procedures, and accounting administration. Catherine has excellent administration and customer service skills.</p>
Heritage Specialists	
 <p>Stephanie Rusden Senior Archaeologist <i>BA Archaeology</i> <i>BSc Land and Heritage Management</i> Aboriginal & historic heritage</p>	<p>Stephanie has a Bachelor of Science Land and Heritage Management from University of Wollongong and Bachelor of Arts (Archaeology) from University of New England. Over the last five years Stephanie has demonstrated experience in fieldwork, targeted research, GIS, scientific methodology training and report writing. Stephanie has developed positive working relationships with Aboriginal communities in the Hunter region and western NSW. She has experience in dealing with sensitive Aboriginal sites, intangible heritage and information gathering.</p>
 <p>Harrison Rochford Archaeologist <i>M. Phil (Arts and Social Sciences)</i> <i>B Liberal Studies (Hons) (Psychology/ Ancient History)</i> Aboriginal & historic heritage</p>	<p>Harrison is a Masters graduate and combines his research knowledge with practical experience focusing on historic heritage. He has extensive experience with in-depth research into a variety of historical periods, including ancient Greece. Harrison has worked on historic heritage assessments, Aboriginal consultation and heritage studies, Aboriginal heritage impact assessments including survey work, archaeological excavation, data management and GIS mapping. Harrison also has extensive editorial experience.</p>

Name / Position / Qualifications / Role	Technical Skills
 <p>Brendan Fisher Archaeologist <i>B Arts Archaeology</i> Aboriginal & historic heritage</p>	<p>Brendan has a Bachelor of Arts majoring in Archaeology and has well developed archaeological assessment skills. He has worked on a number of projects involving Aboriginal groups in the Central West. Brendan has completed artefact analysis of Aboriginal heritage excavations including lithic analysis, test excavation and salvage. He has demonstrated experience in fieldwork assessment, mapping, field photography and artefact sieving, recording, and filing. Brendan also has a variety of overseas volunteer roles, including Pella (Jordan) and Wadi Raki (Oman).</p>
 <p>Jordan Henshaw Graduate Archaeologist <i>Bachelor of Ancient History</i> Aboriginal & historic heritage</p>	<p>Jordan is a recent graduate from Macquarie University with a Bachelor of Ancient History and is interested in all facets of archaeology. Jordan has a thorough understanding of industry standard documentation, as well as reporting procedures. Jordan is eager to develop his skill set across a broad range of projects. He is also developing his skills in research, fieldwork, mapping, field photography, artefact identification, recording, and data management.</p>
 <p>Imogen Crome Graduate Archaeologist <i>Bachelor of Science (Biological Anthropology)</i> <i>Bachelor of Arts (Archaeology)</i> Aboriginal & historic heritage</p>	<p>Imogen is a recent graduate from the Australian National University with a Bachelor of Science (Biological Anthropology) and Bachelor of Arts (Archaeology). She is interested in environmental archaeology as well as historic heritage and museum studies. Imogen has completed overseas placements in Britain and Malta and completed archaeological excavation and analysis, including cataloguing of archaeological finds. She has experience in sorting and archiving archaeological material for research projects, as well as site drawing, context drawing and wet sieving. She is experienced with a range of specialist software, including OxCal and 3DfZephyr.</p>
 <p>Eleanore Martin Graduate Archaeologist (Casual) <i>Bachelor of Arts (Archaeology, honours)</i> Aboriginal & historic heritage</p>	<p>Eleanore is a recent graduate from the University of Queensland with a Bachelor of Arts (Archaeology, honours). She has an interest in both historical and Aboriginal heritage archaeology. Eleanore has experience in cleaning, identifying, illustrating and cataloguing historical archaeological material from various sites. She is also able to identify and categorise historical artefacts and technologies, lithic tools, human and animal remains and megafaunal remains. She is experienced in report writing, including site and artefact reports</p>

3.2 ISO CERTIFICATION



OzArk has the following ISO certification:

- AS/NZS ISO 9001 – 2016: Quality Management Systems
- AS/NZS ISO 14001 – 2016: Environmental Management Systems
- AS/NZS ISO 45001 – 2018: Occupational health and safety management systems

4 FEE PROPOSAL

This fee proposal includes the following key deliverables:

- Aboriginal and historic heritage constraints report
- Fieldwork

Table 4-1: Opportunity and heritage constraints - Talbingo Masterplan.

Aboriginal & Historic Heritage Opportunities and Constraints	Hours / units	Rate	Cost
Project Management			
Project Manager (Principal Archaeologist)	4	\$ 155.00	\$ 620.00
WHS / Field preparation	2	\$ 135.00	\$ 270.00
Fieldwork			
Principal Archaeologist (inc one-way travel)	2	\$ 1,650.00	\$ 3,300.00
Principal archaeologist one-way travel	3	\$ 105.00	\$ 315.00
Accommodation/ meals @ rec ATO rates (1 pp x 1n)	1	\$ 307.50	\$ 307.50
4WD KM rate vehicle	520	\$ 1.20	\$ 624.00
Background research & report writing - Talbingo			
Aboriginal Heritage (Archaeologist)	16	\$ 135.00	\$ 2,160.00
Historic Heritage (Archaeologist)	12	\$ 135.00	\$ 1,620.00
GIS Officer (figure production; mapping)	8	\$ 125.00	\$ 1,000.00
Internal review (Principal Archaeologist)	3	\$ 155.00	\$ 465.00
Client review / edits (Archaeologist)	2	\$ 135.00	\$ 270.00
Expenses			
Administrative Assistant	2	\$ 105.00	\$ 210.00
Disbursement	1	\$ 500.00	\$ 500.00
Total (pre GST)			\$ 11,661.50
GST			\$ 1,166.15
Final Total			\$ 12,827.65

Table 4-2: Aboriginal community representative (optional).

Aboriginal community representative (optional)	Hours / units	Rate	Cost
Aboriginal Site Officer	0.5	\$ 1,000.00	\$ 500.00
Administration surcharge 15%	15%	\$ 500.00	\$ 75.00
Consultation Officer	2	\$ 105.00	\$ 210.00
Total (pre GST)			\$ 785.00
GST			\$ 78.50
Final Total			\$ 863.50

4.1 ASSUMPTIONS

Whilst this quote assumes a "reasonable level" of significant items/issues. It is possible that some significant item/issue may arise that requires time beyond that which is charged in the fee proposal. Additional costs may be incurred for fieldwork that is postponed or cancelled at short notice due to weather or issues uncontrollable by OzArk. If so, we will liaise with you regarding the need for additional hours.

4.2 TERMS

1. This fee proposal is valid for 30 days from date of issue
2. The claim for payment would not exceed this quote without written notification of a variation agreed to by both parties
3. Payment is requested within 30 days from issue of invoice. OzArk reserves the right to levy a 10% late payment surcharge unless late payment has been agreed to by OzArk.

5 OZARK INSURANCES

Table 5-1 presents a list of OzArk's current insurances.

Table 5-1: OzArk current insurances.

Workers Compensation Insurance		Public Liability Insurance (Business Package)	
Policy No.	102861101	Policy No.	BIA0000123BUS
Insurance Company	icare	Insurance Company	Hollard Commercial Insurance
Expiry	31/05/2023	Policy Value:	\$20,000,000
		Expiry	26/08/2023
Professional Indemnity Insurance		Motor Vehicle Insurance	
Policy No.	04MIS2089252	Policy No.	24C 1492729 06
Insurance Company	CGU Professional Risks	Insurance Company	CGU
Policy Value	\$10,000,000 any one claim & \$30,000,000 in the aggregate	Policy Value	5 Vehicles
Expiry	4/09/2023	Expiry	8/04/2023

Allen
20/2/23

17th February 2023

Submission No. 23525

Ironstone Development Group Pty Ltd
c/- Robert Harwood
Suite 303, 61 Marlborough St
Surry Hills NSW 2010

Dear Robert,

LOT 35 DP878862 MILES FRANKLIN DRIVE, TALBINGO
TALBINGO WEST MASTERPLAN
FEE PROPOSAL FOR CIVIL ENGINEERING AND VISUAL IMPACT ASSESSMENT

It is with much pleasure that I forward for your consideration SitePlus' fee proposal for Civil Engineering and visual assessment services for the proposed West Talbingo Masterplan on Miles Franklin Drive, Talbingo.

Siteplus has reviewed the latest masterplan drawings and email from yourself has deduced the following scope of works.

Table 1. Master Plan Services

Item	Description	Fee (lump sum)
1. Flood Study	a) Prepare a catchment plan including internal and external catchments. b) Prepare a hydraulic and hydrologic modelling of the site and surrounding area. Calculating the flow rates and flood extents for the 20%AEP, 1%AEP, and PMF flood events. c) Undertake a flood impact assessment to ensure that there are no adverse impacts resulting from the development. d) Prepare a report to support the Masterplan Application.	\$7,900
2. Stormwater Management Concept Strategy	a) Prepare a concept stormwater management strategy which: <ul style="list-style-type: none"> - Designs a storm water detention system to reduces peak flow to predevelopment levels and Council Standards. The design is to utilise DRAINS modelling - Designs a stormwater quality system that removes pollutants to the required levels. The program MUSIC will be utilised to confirm that the proposed treatment system meets the relevant standards. - Grades the proposed roads ensuring that catchment flows are treated and drained in accordance Council and relevant standards. b) Includes a stormwater management report summarising the parameters used to support the design and be submitted as part of the application.	\$16,000
3. Visual Assessment	a) Review relevant contour maps, plans and aerial photography. b) Site visit and assessment of visual landscape character. c) Site visits to local and regional viewing areas including transport routes & lookouts.	\$7,800

d) Capturing of photos to include into report.	
e) Recommendations as to mitigate visual impact.	
f) Provide a electronic copy of the report as required.	
Total (Excl GST)	\$31,700

Notes:

1. All fees are exclusive of GST.
2. Site Plus is happy to be engaged for separate items at the discretion of the client.
3. The fees allow for one architectural iteration, any further revisions will be charged at the hourly rates in Table 2 with the clients prior approval.
4. Please note that the above fees are the Siteplus fees only and do not cover work to be carried out by any other consultants and are exclusive of any Council or statutory fees and charges.
5. The fees are based on the provision of one draft documentation for Client review and one final document.
6. The fees do not include time or costs for document production if required.

Table 2: Hourly Rates

Role	Hourly Rate
Engineer Director	\$220
Civil Engineer	\$190
Landscape Architect	\$180

Project Timetable

Siteplus is able to commence work on this project upon engagement. Documentation will be provided within six (6) weeks from receipt of signed acceptance and digital architectural files.

Project Team

Our senior project team for the work will be as follows:

Project Leader	Andrew Craddock (Engineering Director)
Project Leader	Andrew Craddock (Engineering Director)
Senior Engineer	Dane Nethery (Engineering Director)
Civil Engineer	Joseph Stewart (Civil Engineer)
Graduate Engineer	Ian Bennett (Civil Engineer)
Landscape Architecture	Katrin Plogstert (Landscape Architect)

Company Advice

The following Company advice is provided for your information:

Site Plus Pty Ltd is registered with the Australian Securities Commission and has an Australian Business Number.

- Site Plus Pty Ltd ACN is 104 315 095.
- Site Plus Pty Ltd ABN is 73 104 315 095.

Insurances

Siteplus holds all insurances as required under the legislation, including:

A. Professional Indemnity

Provider: Arch Insurance
Policy Number: P0011171PI2019AU2
Amount Insured: \$10 million (any one claim and \$50,000,000 in the aggregate)
Period Insured: 2nd October 2022 to 2nd October 2023

B. Business Insurance and Public Liability

Provider: 360 Commercial
Policy Number: 360-COM-1006678-02
Amount Insured: \$20,000,000
Period Insured: 9th May 2022 to 9th May 2023

C. Workcover

Provider: icare workers insurance
Policy Number: 112822101
Amount Insured: \$891,281.81
Period Insured: 30th June 2022 to 30th June 2023

Quality Assurance System

Siteplus is a quality assured company, implementing a Quality Assurance System in accordance with *AS/NZS ISO 9001:2015: Quality Management Systems*.

Siteplus' Quality Assurance System is designed to assist staff in the provision of high-quality products and services to our Client whilst contributing continual improvement of the Company and its work. Siteplus' most recent external audit of its Quality Management System was conducted in March 2020.

Terms and Conditions

I draw your attention to the attached Terms and Conditions of Engagement of Services. Should you be happy to accept our proposal, please complete and return the Acceptance of Proposal form. Work can commence on this Project upon written confirmation of your acceptance.

We look forward to assisting you with this Project. Please contact me on 02 4227 4233 if you have any questions in relation to this fee proposal.

Yours Faithfully,



Andrew Craddock
Engineering Director

BEng Civil (Hon II), MEM, CPEng, NPER
Attach. Terms and Conditions of Engagement
Letter of Acceptance

ACCEPTANCE OF PROPOSAL

REFERENCE NUMBER: 22525

DATE OF PROPOSAL: 16th February 2023**Table 1. Master Plan Services**

Item	Fee (lump sum)
1. Flood Study	\$7,900
2. Stormwater Management Concept Strategy	\$16,000
3. Visual Assessment	\$7,800
Total (Excl GST)	\$31,700

I certify the proposal referred to above is accurate. In accordance with the Privacy Act (1988) I authorise any person or company to give information as may be required in response to credit inquiries.

I have read and understand the GENERAL TERMS AND CONDITIONS OF CONTRACT of Site Plus Pty Ltd that form part of this agreement and agree to be bound by these conditions.

NAME OF LEGAL ENTITY REQUESTING WORK:

Ironstone Development Group Pty Ltd.

ADDRESS FOR SERVICE OF INVOICES:

PO Box 619 Sylvania Southgate, NSW 2224.

EMAIL:

office@ironstonebuilding.com.au.

TELEPHONE NUMBER(S):

SIGNED:

[Signature]

DATE:

20/02/2023

FULL NAME:

ANITA SIMONOVSKY

POSITION:

Director

* The client is entirely responsible for any information or documents they may provide to SitePlus during the course of the project.

Site Plus Pty Ltd – Terms & Conditions of Trade

1. **Definitions**
 - 1.1 "Consultant" shall mean SITE PLUS PTY LTD Consultants and its successors and assigns.
 - 1.2 "Client" shall mean the Client or any person acting on behalf of and with the authority of the Client.
 - 1.3 "Guarantor" means that person (or persons), or entity who agrees herein to be liable for the debts of the Client on a principal debtor basis.
 - 1.4 "Services" shall mean all services undertaken by the Consultant to the Client and includes any advice or recommendations.
 - 1.5 "Fees" shall mean the cost of the Services as agreed between the Consultant and the Client subject to clause 4 of this contract.
 - 1.6 "Documents" shall mean material supplied by the Consultant as representation of the Services provided.
 2. **Acceptance**
 - 2.1 Any Instructions received by the Consultant from the Client for the supply of Services by the Consultant shall constitute acceptance of the terms and conditions contained herein.
 - 2.2 Where more than one Client has entered into this agreement, the Client's shall be jointly and severally liable for all payments of the Fees.
 - 2.3 Upon acceptance of these terms and conditions by the Client the terms and conditions are irrevocable and can only be rescinded in accordance with these terms and conditions or with the written consent of the manager of the Consultant.
 - 2.4 None of the Consultant's agents or representatives are authorised to make any representations, statements, conditions or agreements not expressed by the manager of the Consultant in writing nor is the Consultant bound by any such unauthorised statements.
 - 2.5 The Client undertakes to give the Consultant not less than fourteen (14) days prior written notice of any proposed change in the Client's name and/or any other change in the Client's details (including but not limited to, changes in the Client's address, facsimile number, or business practice).
 - 2.6 Once accepted by the Client, the Consultant's written quotation/proposal shall be deemed to interpret correctly the Client's instructions, whether written or verbal. Where verbal instructions only are received from the Client, the Consultant shall not be responsible for errors or omissions due to oversight or misinterpretation of those instructions.
 - 2.7 Whenever other consultants are engaged by the Client, the Consultant shall be responsible only for the integration of such work into the service. The Consultant shall not be responsible for checking the work of any other consultants and shall bear no responsibility or liability whatsoever in contract or in tort for negligence or otherwise or any law generally in relation to the work of those consultants or for any failure of the Consultant to notice or detect any error, omission, defect, inadequacy or unsuitability in respect of the work of such other consultants.
 - 2.8 The Consultant shall be deemed to have been discharged from all liability in respect of the Services, whether under the law of contract or tort at the expiration of 5 years from either the date of practical completion of the works which are subject to the Services or the termination of the Services, whichever is the earlier.
 3. **Services**
 - 3.1 The Services are as described on the Invoices, quotation, work authorisation, fee proposal, fee submission or any other work commencement forms as provided by the Consultant to the Client.
 4. **Fees And Charges**
 - 4.1 At the Consultant's sole discretion:
 - (a) The Fees shall be as indicated on invoices provided by the Consultant to the Client in respect of Services supplied; or
 - (b) The Fees shall be the Consultant's current Fees, at the date of delivery of the Services, according to the Consultant's current Fees list; or
 - (c) The Fees of the Services shall (subject to clause 4.2) be the Consultant's quoted Fees which shall be binding upon the Consultant provided that the Client shall accept in writing the Consultant's quotation within thirty (30) days.
 - 4.2 Any variation from the plan of scheduled works or specifications will be charged for on the basis of the Consultant's quotation and will be shown as variations on the Invoice. Payment for all variations must be made in full at their time of completion.
 - 4.3 The Client must grant the Consultant a reasonable extension of time for any delay to completion of the Services caused by any changes in the Client's instructions or requirements, or an act or omission of the Client or its agents, other consultants or contractors, or a force majeure, provided that the Consultant notifies the Client of the cause and the anticipated extent of the protraction.
 - 4.4 At the Consultant's sole discretion a deposit may be required. The deposit amount or percentage of the Fees will be stipulated at the time of the order and shall become immediately due and payable.
 - 4.5 Time for payment for the Services shall be of the essence and will be stated on the Invoice, quotation or any other order forms. If no time is stated then payment shall be on delivery of the Services.
 - 4.6 The Consultant may withhold delivery of the Services until the Client has paid for them, in which event payment shall be made before the delivery date.
 - 4.7 At the Consultant's sole discretion, for certain approved Clients payment will be due fourteen (14) days following the date of the Invoice.
 - 4.8 Payment will be made by cash, or by cheque, or by bank cheque, or by credit card (plus any charges that maybe applicable), or by direct credit, or by any other method as agreed to between the Client and the Consultant.
 - 4.9 The Fees shall be increased by the amount of any GST and other taxes and duties, which may be applicable, except to the extent that such taxes are expressly included in any quotation given by the Consultant.
 5. **Delivery Of Documents/Services**
 - 5.1 Delivery of the Documents/Services shall be made to the Client at the Consultant's address. The Client shall make all arrangements necessary to take delivery of the Services whenever they are tendered for delivery.
 - 5.2 The Consultant may deliver the Documents/Services by separate instalments (in accordance with the agreed delivery schedule). Each separate instalment shall be invoiced and paid for in accordance with the provisions in this contract of sale.
 - 5.3 The failure of the Consultant to deliver shall not entitle either party to treat this contract as repudiated.
 - 5.4 The Consultant shall not be liable for any loss or damage whatever due to failure by the Consultant to deliver the Services (or any of them) promptly or at all.
 6. **Risk**
 - 6.1 If the Consultant retains property in the Services nonetheless, all risk for the Services passes to the Client on delivery.
 7. **Errors and Omissions**
 - 7.1 The Client shall inspect the Documents on delivery and shall within seven (7) days of delivery notify the Consultant of any alleged defect, errors, omissions or failure to comply with the description or quote. The Client shall afford the Consultant an opportunity to inspect the Documents within a reasonable time following delivery if the Client believes the Documents are defective in any way.
 8. **The Commonwealth Trade Practices Act 1974 and Fair Trading Acts**
 - 9.1 Nothing in this agreement is intended to have the effect of contracting out of any applicable provisions of the Competition and Consumer Act 2010 or the Fair Trading Acts in each of the States and Territories of Australia, except to the extent permitted by those Acts where applicable.
 10. **Intellectual Property**
 - 10.1 Where the Consultant has designed or drawn Documents for the Client, then the copyright in those designs and drawings shall remain vested in the Consultant, and shall only be used by the Client at the Consultant's discretion.
 - 10.2 Conversely, in such a situation, where the Client has supplied drawings, the Consultant in its sale conditions may look for an indemnity (the specifications and design of the Services (including the copyright, design right or other intellectual property in them) shall as between the parties be the property of the Consultant).
 - 10.3 The Client warrants that all designs or instructions to the Consultant will not cause the Consultant to infringe any patent, registered design or trademark in the execution of the Client's order. The Client shall indemnify and hold harmless the Consultant from and against all consequences of any failure in this respect.
 - 10.4 Documents submitted by the Consultant on a speculative basis shall remain the property of the Consultant. They shall not be used for any purpose other than that nominated by the Consultant and no ideas obtained there from may be used without the consent of the Consultant. The Consultant shall be entitled to compensation from the Client for any unauthorised use of such sketches and dummies.
 - 10.5 The Client shall have no right or title to data stored by the Consultant on disks or any other electronic form of storage but after a Consultant agrees to duplicate or transfer stored electronic or like media for use by a Client or other parties authorised to obtain that data, he shall have the right to charge for those services.
 - 10.6 The Client agrees that the Consultant shall bear no responsibility of liability in contract, or in tort for negligence or otherwise at law generally in relation to the alteration of any other person or entity which has obtained those electronic documents.
 11. **Default & Consequences Of Default**
 - 11.1 Interest on overdue invoices shall accrue from the date when payment becomes due daily until the date of payment at a rate of 2.0% per calendar month and shall accrue at such a rate after as well as before any judgement.
 - 11.2 If the Client defaults in payment of any invoice when due, the Client shall indemnify the Consultant from and against all the Consultant's costs and disbursements including on a solicitor and own client basis and in addition all of the Consultant's non-negligent costs of collection.
 - 11.3 Without prejudice to any other remedies the Consultant may have, if at any time the Client is in breach of any obligation (including those relating to payment), the Consultant may suspend or terminate the supply of Services to the Client and any of its other obligations under the terms and conditions. The Consultant will not be liable to the Client for any loss or damage the Client suffers because the Consultant exercised its rights under this clause.
 - 11.4 If any account remains unpaid at the end of the second month after supply of the Services or services the following shall apply: An immediate amount of the greater of \$20.00 or 10.00% of the amount overdue shall be levied for administration fees which sum shall become immediately due and payable.
 - 11.5 In the event that:
 - (a) any money payable to the Consultant becomes overdue, or in the Consultant's opinion the Client will be unable to meet its payments as they fall due; or
 - (b) the Client becomes insolvent, convenes a meeting with its creditors or proposes or enters into an arrangement with creditors, or makes an assignment for the benefit of its creditors; or
 - (c) a receiver, manager, liquidator (provisional or otherwise) or similar person is appointed in respect of the Client or any asset of the Client;
 - (d) then without prejudice to the Consultant's other remedies at law
 - (e) the Consultant shall be entitled to cancel all or any part of any order of the Client which remains unperformed in addition to and without prejudice to any other remedies; and
 - (f) all amounts owing to the Consultant shall, whether or not due for payment, immediately become payable.
12. **Title**
 - 12.1 It is the intention of the Consultant and agreed by the Client that property in the Services shall not pass until the Client has paid all amounts owing for the particular Services.
 - 12.2 It is further agreed that:
 - (a) Until such time as ownership of the Documents/Services shall pass from the Consultant to the Client the Consultant may give notice in writing to the Client to return the Services or any of them to the Consultant. Upon such notice the rights of the Client to obtain ownership or any other interest in the Services shall cease.
 - (b) If the Client fails to return the Documents/Services to the Consultant then the Consultant or the Consultant's agent may enter upon and into land and premises owned, occupied or used by the Client, or any premises as the invitee of the Client, where the Services are situated and take possession of the Services, without being responsible for any damage thereby caused.
 - (c) Receipt by the Consultant of any form of payment other than cash shall not be deemed to be payment until that form of payment has been honoured, cleared or recognised and until then the Consultant's ownership of rights in respect of the Documents/Services shall continue.
 - (d) The Consultant may require payment of the Fees or the balance of the Fees due together with any other amounts due from the Client to the Consultant arising out of these terms and conditions, and the Consultant may take any lawful steps to require payment of the amounts due and the Fees.
 - (e) The Consultant can issue proceedings to recover the Fees of the Services sold notwithstanding that ownership of the Documents/Services may not have passed to the Client.
13. **Security And Charge**
 - 13.1 Notwithstanding anything to the contrary contained herein or any other rights which the Consultant may have however:
 - (a) Where the Client and/or the Guarantor (if any) is the owner of land, realty or any other asset capable of being charged, both the Client and/or the Guarantor agree to mortgage and/or charge all of their joint and/or several interest in the said land, realty or any other asset to the Consultant or the Consultant's nominee to secure all amounts and other monetary obligations payable under the terms and conditions. The Client and/or the Guarantor acknowledge and agree that the Consultant (or the Consultant's nominee) shall be entitled to lodge where appropriate a caveat, which caveat shall be released once all payments and other monetary obligations payable hereunder have been met.
 - (b) Should the Consultant elect to proceed in any manner in accordance with this clause and/or its sub-clauses, the Client and/or Guarantor shall indemnify the Consultant from and against all the Consultant's costs and disbursements including legal costs on a solicitor and own client basis.
 - (c) To give effect to the provisions of clause 13.1 (a) and (b) inclusive hereof the Client and/or the Guarantor (if any) do hereby irrevocably nominate constitute and appoint the Consultant or the Consultant's nominee as the Client's and/or Guarantor's true and lawful attorney to execute mortgages and charges (whether registrable or not) including such other terms and conditions as the Consultant and/or the Consultant's nominee shall think fit in his/her/its/their absolute discretion against the joint and/or several interest of the Client and/or the Guarantor in any land, realty or asset in favour of the Consultant and in the Client's and/or Guarantor's name as may be necessary to secure the said Client's and/or Guarantor's obligations and indebtedness to the Consultant and further to do and perform all necessary and other acts including instituting any necessary legal proceedings, and further to execute all or any documents in the Consultant's absolute discretion which may be necessary or advantageous to give effect to the provisions of this clause.
14. **Cancellation**
 - 14.1 The Consultant may cancel these terms and conditions or cancel delivery of Services at any time before the Services are delivered by giving written notice. The Consultant shall not be liable for any loss or damage whatever arising from such cancellation.
15. **Privacy Act 1988**
 - 15.1 The Client and/or the Guarantor/s agree for the Consultant to obtain from a credit-reporting agency a credit report containing personal credit information about the Client and Guarantor/s in relation to credit provided by the Consultant.
 - 15.2 The Client and/or the Guarantor/s agree that the Consultant may exchange information about Client and Guarantor/s with those credit providers named in the Application for Credit account or named in a consumer credit report issued by a reporting agency for the following purposes:
 - (a) To assess an application by Client;
 - (b) To notify other credit providers of a default by the Client;
 - (c) To exchange information with other credit providers as to the status of this credit account, where the Client is in default with other credit providers; and
 - (d) To assess the credit worthiness of Client and/or Guarantor/s.
 - 15.3 The Client consents to the Consultant being given a consumer credit report to collect overdue payment on commercial credit (Section 18(1)(h) Privacy Act 1988).
 - 15.4 The Client agrees that Personal Data provided may be used and retained by the Consultant for the following purposes and for other purposes as shall be agreed between the Client and Consultant or required by law from time to time:
 - (a) provision of Services;
 - (b) marketing of Services by the Consultant, its agents or distributors in relation to the Services;
 - (c) analysing, verifying and/or checking the Client's credit, payment and/or status in relation to provision of Services;
 - (d) processing of any payment instructions, direct debit facilities and/or credit facilities requested by Client; and
 - (e) enabling the daily operation of Client's account and/or the collection of amounts outstanding in the Client's account in relation to the Services.
 - 15.5 The Consultant may give information about the Client to a credit reporting agency for the following purposes:
 - (a) to obtain a consumer credit report about the Client; and/or
 - (b) allow the credit reporting agency to create or maintain a credit information file containing information about the Client.
 - 15.6 SitePlus reserves the right to use Client's design/documents for any future advertising or publishing purposes (and optionally to erect signage).
16. **Lien**
 - 16.1 Where the Consultant has not received or been tendered the whole of the Fees, or the payment has been dishonoured, the Consultant shall have:
 - (a) a lien on the Services;
 - (b) the right to retain them for the Fees while the Consultant is in possession of them;
 - (c) a right of resale;
 - (d) the foregoing right of disposal,provided that the lien of the Consultant shall continue despite the commencement of proceedings or judgement for the Fees having been obtained.
17. **Dispute Resolution**
 - 17.1 If a dispute between the parties to this contract then either party shall send to the other party a notice of dispute in writing adequately identifying and providing details of the dispute. Within 14 days after service of a notice of dispute, the parties shall confer at least once, to attempt to resolve the dispute. At any such conference each party shall be represented by a person having authority to agree to a resolution of the dispute. In the event that the dispute cannot be so resolved either party may by further notice in writing delivered by hand or sent by certified mail to the other party refer such dispute to arbitration. Any arbitration shall be:
 - (a) referred to a single arbitrator to be nominated by the President of the Institute of Arbitrators Australia; and
 - (b) conducted in accordance with the Institute of Arbitrators Australia Rules for the Conduct of Commercial Arbitration.
18. **General**
 - 18.1 If any provision of these terms and conditions shall be invalid, void or illegal or unenforceable the validity existence, legality and enforceability of the remaining provisions shall not be affected, prejudiced or impaired.
 - 18.2 All Services supplied by the Consultant are subject to the laws of New South Wales and the Consultant takes no responsibility for changes in the law which affect the Services supplied.
 - 18.3 The Consultant shall be under no liability whatever to the Client for any indirect loss and/or expense (including loss of profit) suffered by the Client arising out of a breach by the Consultant of these terms and conditions.
 - 18.4 In the event of any breach of this contract by the Consultant the remedies of the Client shall be limited to the maximum amount that the Consultant could claim under any contracts of insurance that the Consultant has in place at the time of such breach.
 - 18.5 The Client shall not set off against the Fees amounts due from the Consultant.
 - 18.6 The Consultant may license or sub-contract all or any part of its rights and obligations without the Client's consent.
 - 18.7 The Consultant reserves the right to review these terms and conditions at any time and from time to time. If, following any such review, there is to be any change in such terms and conditions, then change will take effect from the date on which the Consultant notifies the Client of such change.
 - 18.8 Neither party shall be liable for any default due to any act of God, war, terrorism, strike, lock out, industrial action, fire, flood, drought, storm or other event beyond the reasonable control of either party.
 - 18.9 It is a requirement that all building materials installed to the specifications provided by the Consultant must be compliant with the National Construction Code, the Building Code of Australia, the Australian Standards and any other applicable laws or regulations.
 - 18.10 The Consultant reserves the right to sub-contract the supply of any part of the Services provided to the Client.
 - 18.11 If the Consultant takes over the project from another consultant or from any other person or entity, all earlier work must be reviewed by the Consultant. The Client acknowledges that the Consultant shall not be liable for any errors, omissions or inconsistencies in the previous work that could not have been reasonably noticed.
 - 18.12 Neither party shall assign this agreement or any part thereof without the prior written consent of the other party.
 - 18.13 The Client acknowledges that the Consultant does not include any services relating to asbestos or hazardous or toxic substances / materials. The Client agrees, notwithstanding any other provisions of this agreement, to indemnify and hold harmless the Consultant against any and all claims associated with the identification, abatement and/or removal of the asbestos or hazardous or toxic substances / materials.
 - 18.14 The Client agrees that any opinion of probable cost prepared by the Consultant is intended to be indicative only and in the event that they are in error then, whatever the magnitude or error, the Consultant shall not be liable in contract, in tort for negligence or otherwise or any law generally for any loss or damage suffered thereby.